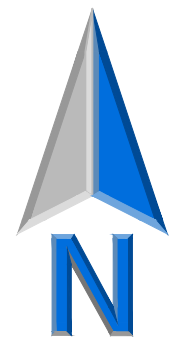


HOFFMAN ESTATES PARK
DISTRICT - VOGELEI PARK
650 W. HIGGINS ROAD
HOFFMAN ESTATES, ILLINOIS

CIVIL ENGINEER:
Eriksson Engineering Assoc., Ltd.
145 Commerce Drive, Suite A
Grayslake, IL 60030
414-930-7219
Attn: Jeff Geldmyer, PE

OWNER:
Hoffman Estates Park District
1685 W Higgins Rd
Hoffman Estates, IL 60169
847-285-5465
Attn: Dustin Hugen



SURVEY PROVIDED BY:

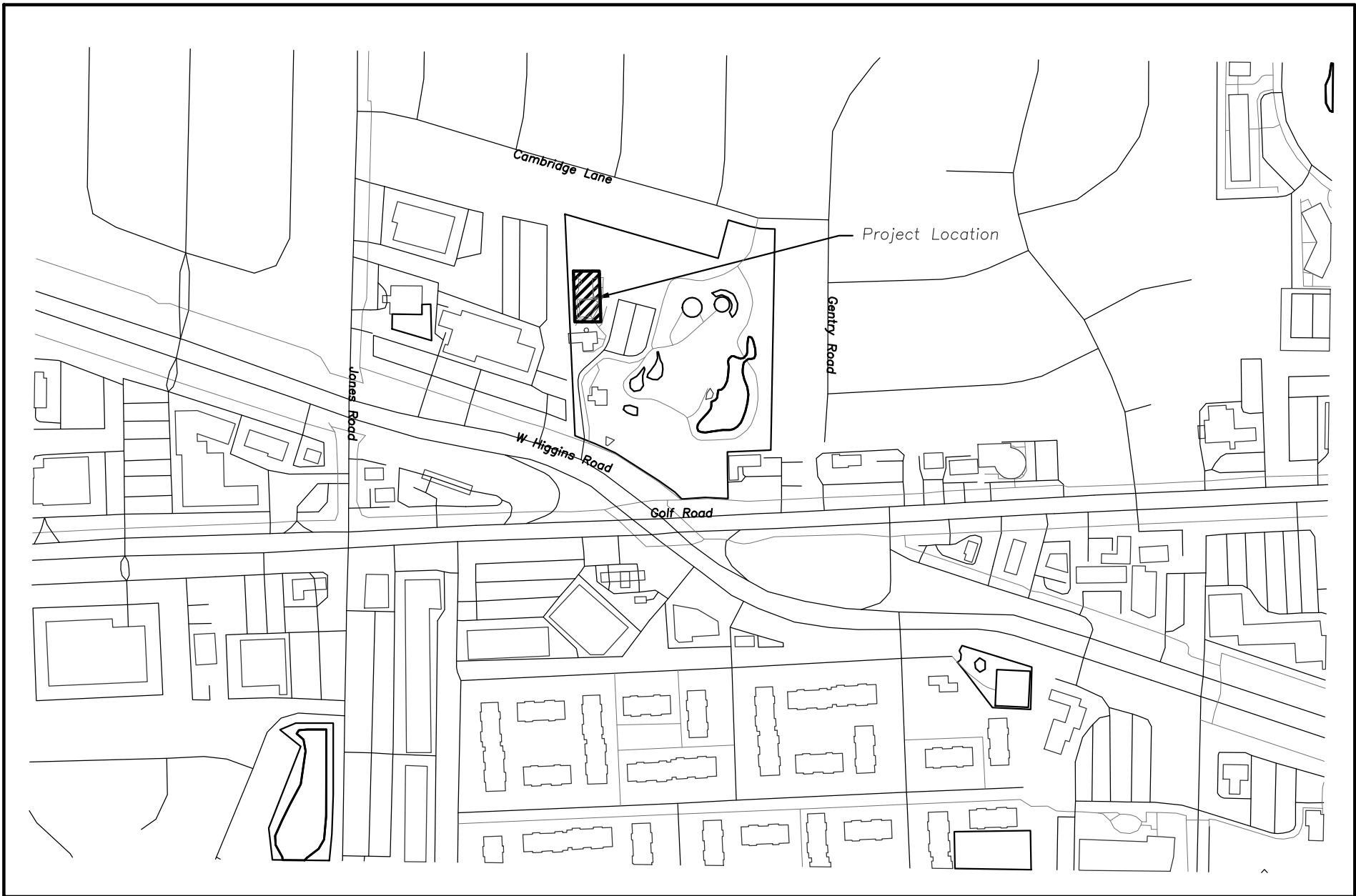
Plat of Survey and Topography Provided By R.E. Allen And Associates, LTD. For Eriksson Engineering Associates, LTD. on 06/24/2024.

PROJECT BENCHMARKS

Source Benchmark Village of Arlington Heights Monument 39 At The Northeast Corner Of West Olive Street And Arlington Heights Road
NAVD88 Elevation = 703.13

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



SITE LOCATION MAP (N.T.S.)

CIVIL SHEET INDEX

C000 CIVIL ENGINEERING COVER SHEET
C001 EXISTING TOPOGRAPHIC CONDITIONS
C002 EXISTING TOPOGRAPHIC CONDITIONS
C100 SITE DEMOLITION PLAN
C200 SITE GEOMETRY PLAN
C300 SITE UTILITY PLAN
C400 GRADING AND PAVING PLAN
C500 SESC PLAN
C600 SITE WORK DETAILS
C601 SITE WORK DETAILS

LA SHEET INDEX

L012 TREE PROTECTION & REMOVAL PLAN - NORTHEAST
L013 TREE PROTECTION & REMOVAL PLAN - SOUTHWEST
L014 TREE PROTECTION & REMOVAL PLAN - SOUTHEAST
L102 SITE LANDSCAPE PLAN - NORTHEAST
L103 SITE LANDSCAPE PLAN - SOUTHWEST
L104 SITE LANDSCAPE PLAN - SOUTHEAST
L200 LANDSCAPE DETAILS: PLANTINGS
L201 LANDSCAPE DETAILS: PLAY FEATURES



**ERIKSSON
ENGINEERING**

ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4864
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2027

HEPD
VOGELEI PARK - PHASE 2
650 W. HIGGINS ROAD
HOFFMAN ESTATES, ILLINOIS

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Design By:	Approved By:	Date:
JG	MR	03/30/2025

Sheet Title:

CIVIL
ENGINEERING
COVER SHEET

Sheet No:

C000



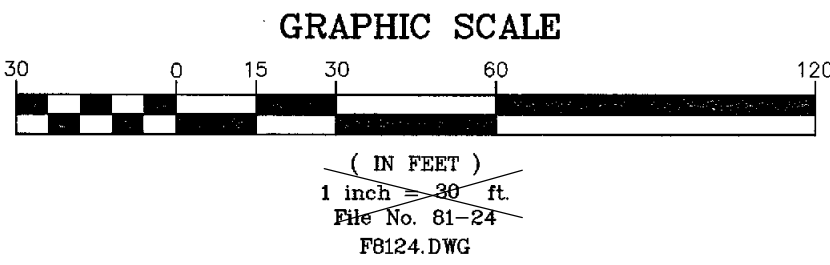
SHEET 1 OF 2

PLAT OF SURVEY
OF

LOT 1 PLAT OF CONSOLIDATION IN THAT PART OF THE WEST HALF
OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH,
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO
THE PLAT THEREOF RECORDED JUNE 6, 2007 AS DOCUMENT
NUMBER 07165150419, IN COOK COUNTY, ILLINOIS.

SOURCE BENCHMARK
VILLAGE OF ARLINGTON HEIGHTS
MONUMENT 39
AT THE NORTHEAST CORNER OF
WEST OLIVE STREET AND
ARLINGTON HEIGHTS ROAD
NAVD88 ELEVATION = 703.13

- SYMBOL LEGEND:
- EB = ELECTRIC BOX
 - CV = CONTROL VALVE
 - CHD = CABLE HANDHOLE
 - WV = WATER VALVE
 - WV@ = WATER VALVE VAULT
 - SP = SIGN
 - SPUP = LIGHT POLE
 - F.E.S. = FLARED END SECTION
 - UP = UTILITY POLE
 - UPED = UTILITY PEDESTAL
 - GENR = GENERATOR PAD
 - EPNL = ELECTRIC PANEL
 - G = UNDERGROUND GAS
 - E = UNDERGROUND ELECTRIC
 - P = UNDERGROUND PHONE
 - C = UNDERGROUND CABLE



FIELDWORK COMPLETED: 06-24-2024
CLIENT NAME: Eriksson Engineering Associates, Ltd.
ADDRESS: 145 Commerce Drive, Suite A
Grayslake, IL 60030

NOTES:
PLAT IS VOID if the Impressed Surveyors Seal does not appear.
Only those Building Lines or Easements shown on a Recorded
Subdivision Plat or from a Recorded Document are shown
hereon; check local ordinances before building.

Compare your description and site markings with this plat AT
ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0990



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
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PHONE: (847) 223-4804
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EMAIL: INFO@EEA-LTD.COM
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HOFFMAN ESTATES, ILLINOIS

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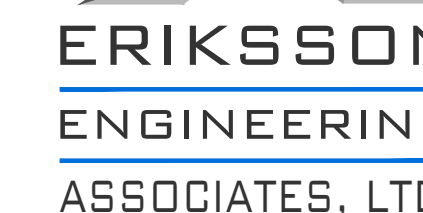
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Design By:	Approved By:	Date:
JG	MR	03/30/2025

Sheet Title:
**EXISTING
TOPOGRAPHIC
CONDITIONS**

Sheet No:
C001

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EXISTING
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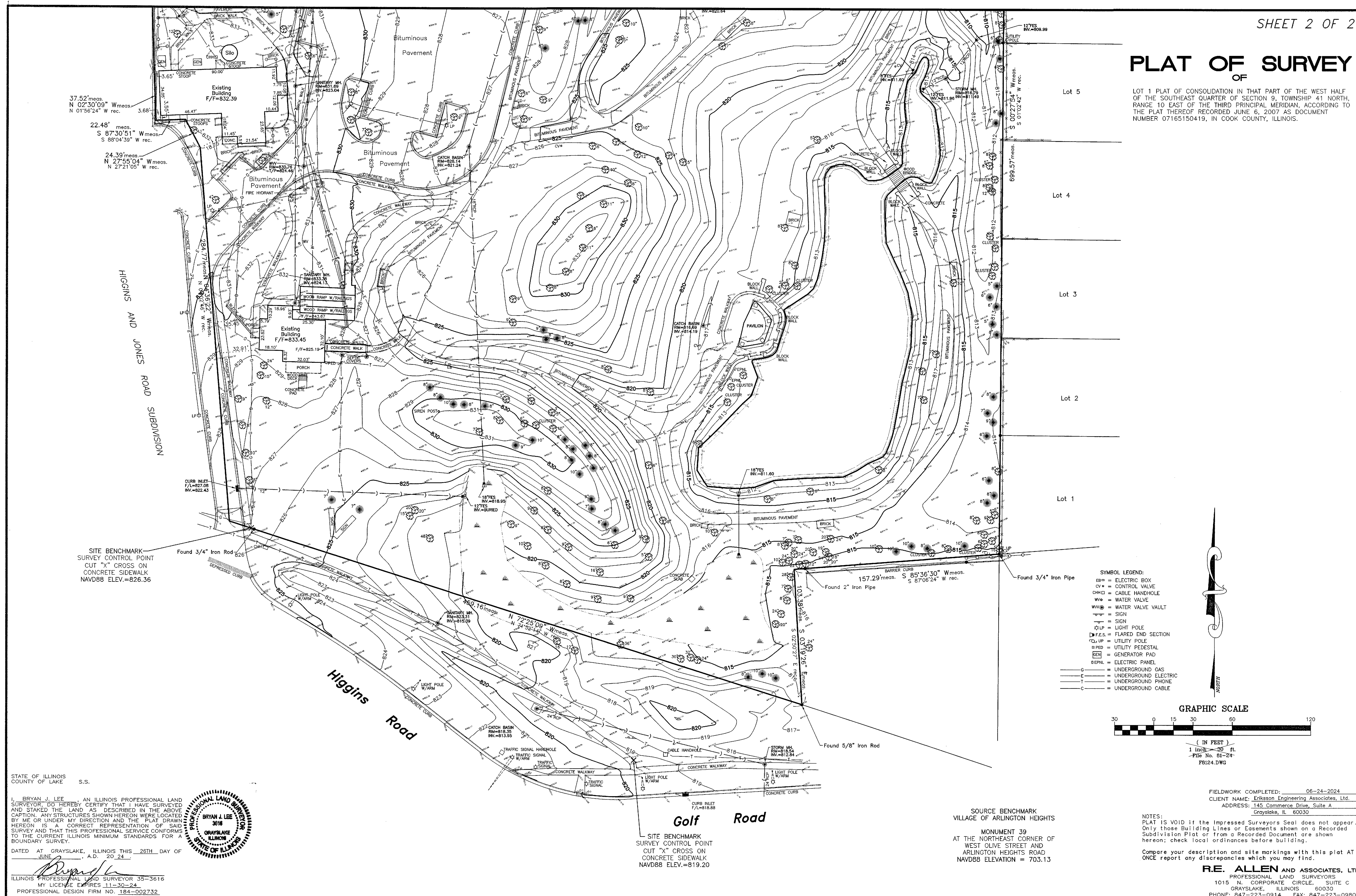
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SHEET 2 OF 2

PLAT OF OF SURVEY

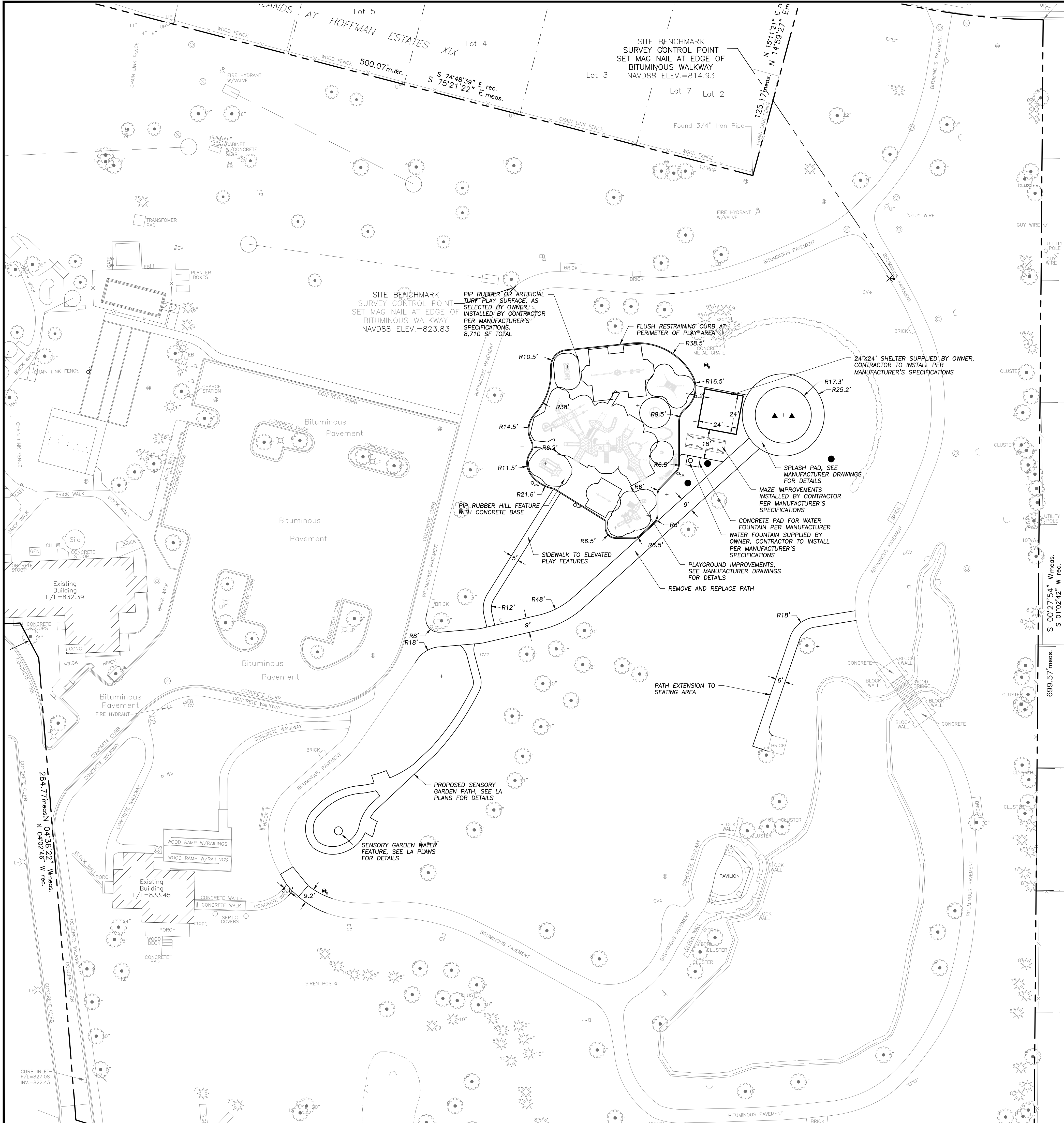
LOT 1 PLAT OF CONSOLIDATION IN THAT PART OF THE WEST HALF
OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH,
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO
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FEA - P:\24080 - Hoffman PD - Vogeley Park Redevelopment\Drawings\Vogeley - Site Plan_Phase 2.dwg
 Plotted: 4/29/25 @ 4:08pm By: jgeldmyer

EEA - P:\24060 - Hoffman PD - Vogelei Park Redevelopment\Drawings\Vogelei - Site Plan_Phase 2.dwg
Plotted: 5/01/25 @ 7:38am By: jgeldmyer

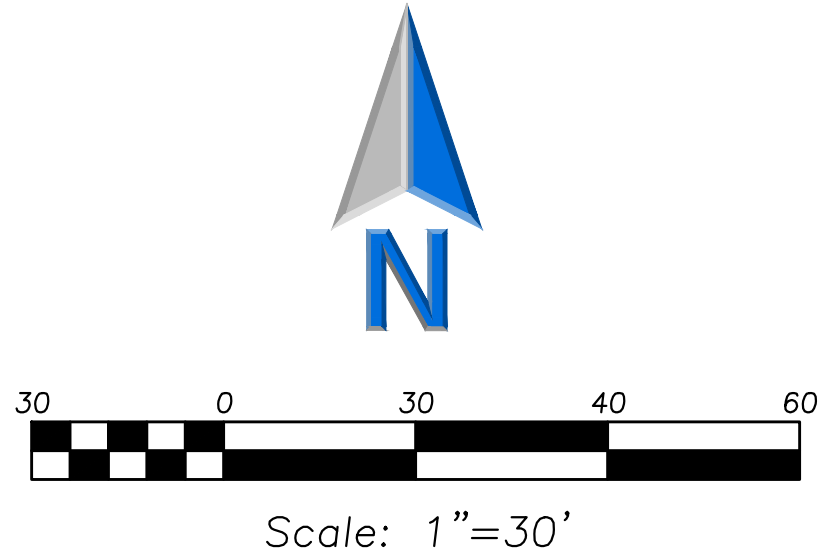


GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.
- Installation of Specialty Equipment, Including Playground, Splash Pad, Water Fountain, and Water Feature To Be Installed Per Manufacturer's Standards.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The City of Hoffman Estates A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings and Structures With The Drawings And Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereof, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



LEGEND

EXISTING	PROPOSED



ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4854
FAX (847) 223-4864
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HEPD
VOGELEI PARK - PHASE 2
650 W. HIGGINS ROAD
HOFFMAN ESTATES, ILLINOIS

Reserved for Seal:

No.	Date	Description
	04/30/25	ISSUE FOR BID & PERMIT

Design By:	Approved By:	Date:
JG	MR	03/30/2025

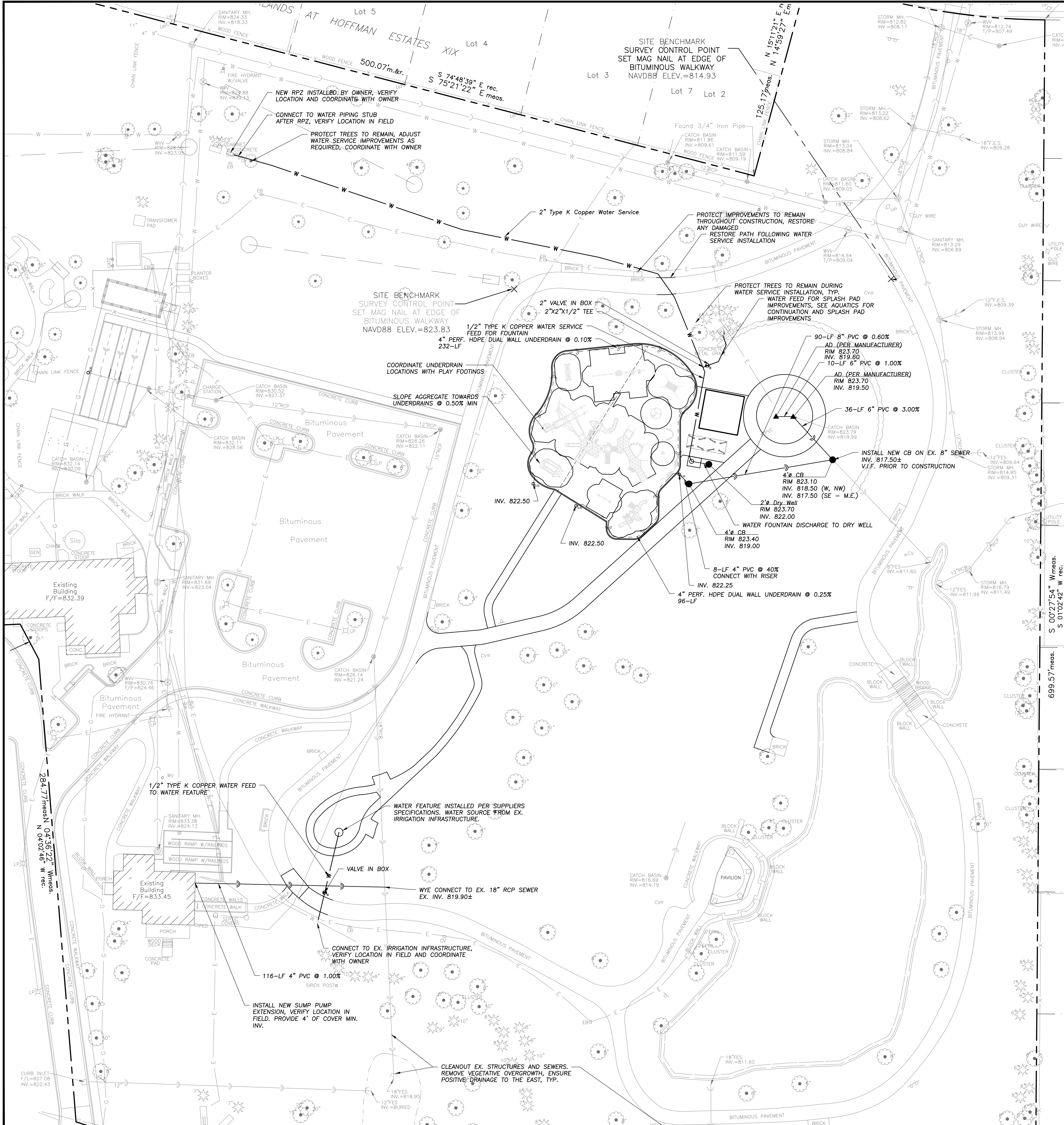
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SITE
GEOMETRY PLAN

Sheet No:

C200

EEA - P:\24060 - Hoffman PD - Vogelei Park Redevelopment\Drawings\Vogelei - Site Plan_Phase 2.dwg
Plotted: 5/01/25 @ 7:38am By: jgldmryr



UTILITY NOTES

1. This Project Is Located In A Separate Sewer Area.
2. Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
3. Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation Of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
4. Coordinate the Relocation Of Any Utilities Encountered And Replacement Of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
5. All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
6. Protection Of Water Supplies Shall Be As Described In Section 370.350 Of The Illinois Recommended Standards For Sewage Works Or Section 41-2.01 Of The Standard Specifications For Water and Sewer Main Construction in Illinois, Latest Edition.
7. Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
8. The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
9. Adjust Frame Elevations Of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.
10. Obtain As-Built Information For All Pipes, In Accordance With As-Built Document Requirements, Prior To The Installation Of Any Inlet Hoods Or Trash Racks.

STRUCTURE NOTES

1. All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
2. All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
3. All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
4. For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
5. All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate. Repair and Replace Existing Flared End Sections as Required.
6. All Flared End Sections Shall Be Concrete.

GENERAL NOTES

1. The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify The Owner, Engineer and The City of Hoffman Estates A Minimum of 48 Hours in Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
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9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



Scale: 1"=30'

LEGEND

EXISTING	PROPOSED



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
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HEPD VOGELEI PARK - PHASE 2 650 W. HIGGINS ROAD HOFFMAN ESTATES, ILLINOIS

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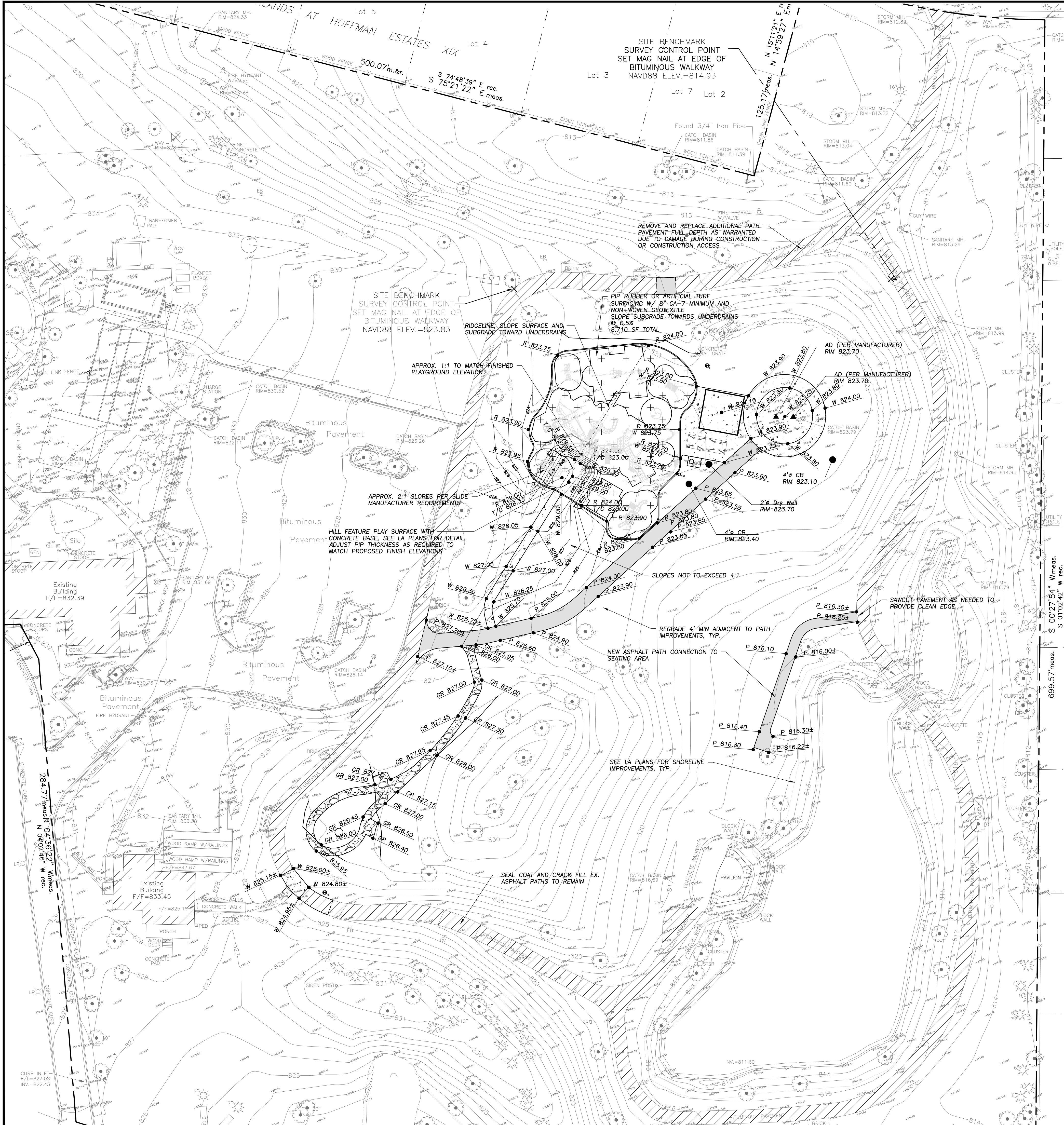
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	04/30/25	ISSUE FOR BID & PERMIT

Design By:	Approved By:	Date:
JG	MR	03/30/2025

Sheet Title:
**SITE
UTILITY PLAN**

Sheet No:
C300

EEA - P:\24060 - Hoffman PD - Vogelei Park Redevelopment\Drawings\Vogelei - Site Plan_Phase 2.dwg
Plotted: 5/01/25 @ 7:41am By: jgeldmyer



PAVING & SURFACE LEGEND

- Asphalt Pavement Section - Full Depth
1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50
2 1/2" Hot Mix Asphalt, IL-19.0, N50
Prime Coat (0.25 gal/sq yd)
8" Aggregate Base Course, Type B, Crushed, CA-6
- Concrete Sidewalk Section
5" Portland Cement Concrete
6"x6" W1.4xW1.4 Welded Wire Fabric
4" Aggregate Base Course, Type B, Crushed
- Poured in Place Rubber or Artificial Turf
(Elements by ForeverLawn) with Fall Protection Zones Per Playground Manufacturer, Surface and Fall Zones Installed Per Manufacturer's Specifications.
8" Crushed CA-7 Aggregate, Min. Sloped Towards Underdrain
Non-Woven Geotextile Fabric
- Compacted Gravel
6" CA-6 Aggregate With 2" Decorative Gravel Cap or Other Material as Selected By Owner
- Asphalt Pavement Seal Coat and Crack Fill
Asphalt Emulsions Seal Coat - 2 Coats (NO COAL TAR SEALER OR PRODUCT)
Crack Filling, Hot Applied Joint Sealant
Existing Path Pavements, Verify Extents in Field

GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Seed and Blanket Unless Noted Otherwise On The Landscape Drawings.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% In Any Direction. Maximum Sidewalk and Path Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk and Path Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations in Project Area. Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- Regrade Green Space Adjacent to Path Improvements as Required to Maintain Positive Drainage, Minimum 5' Width. Restore Disturbed Areas With Seed and Blanket.

LEGEND

- | EXISTING | PROPOSED |
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ENGINEERING
ASSOCIATES, LTD.

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EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
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EXPIRES: 04/30/2027

HEPD VOGELEI PARK - PHASE 2

650 W. HIGGINS ROAD
HOFFMAN ESTATES, ILLINOIS

Reserved for Seal:

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Design By: JG Approved By: MR Date: 03/30/2025

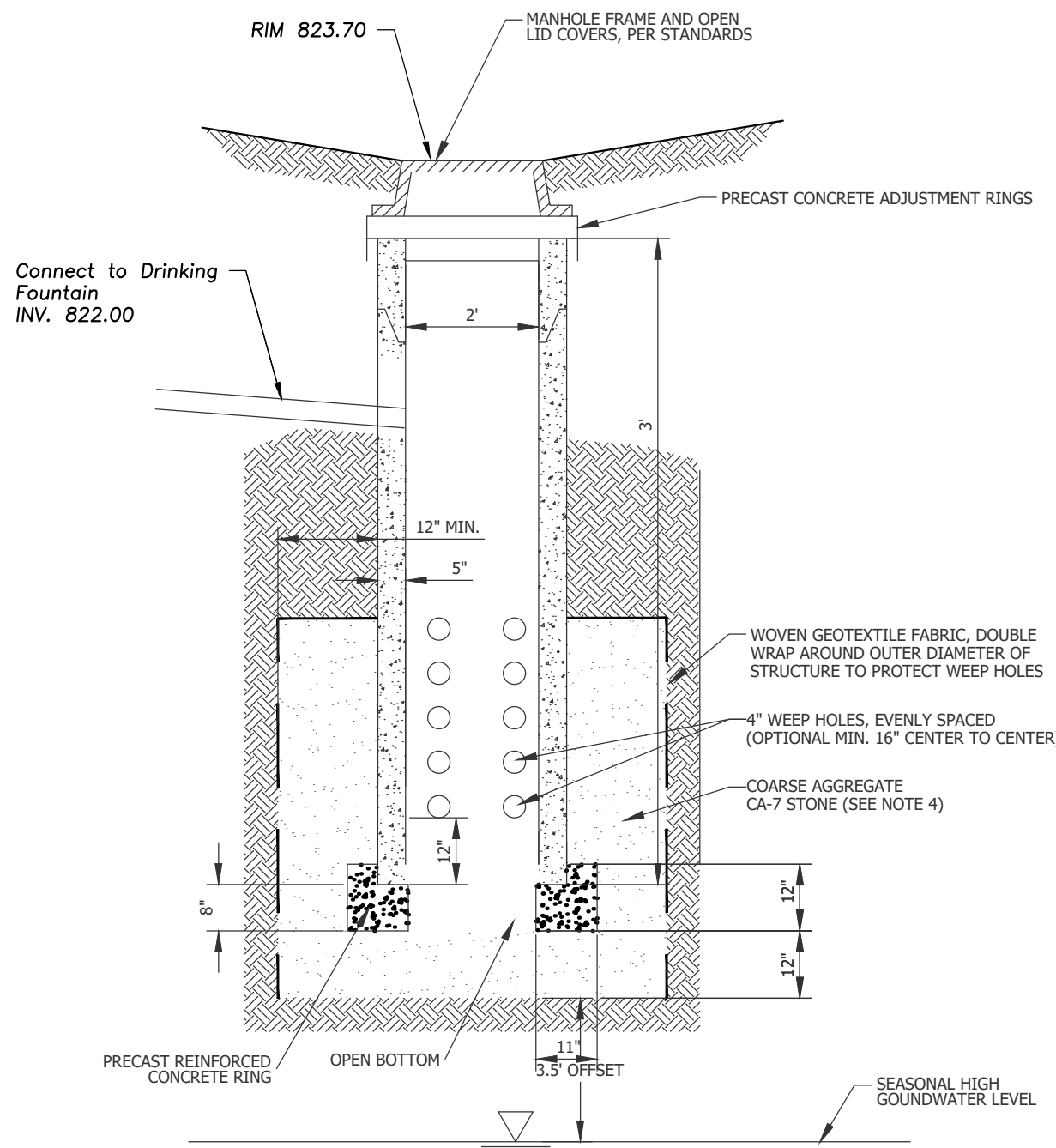
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**GRADING AND
PAVING PLAN**

Sheet No:

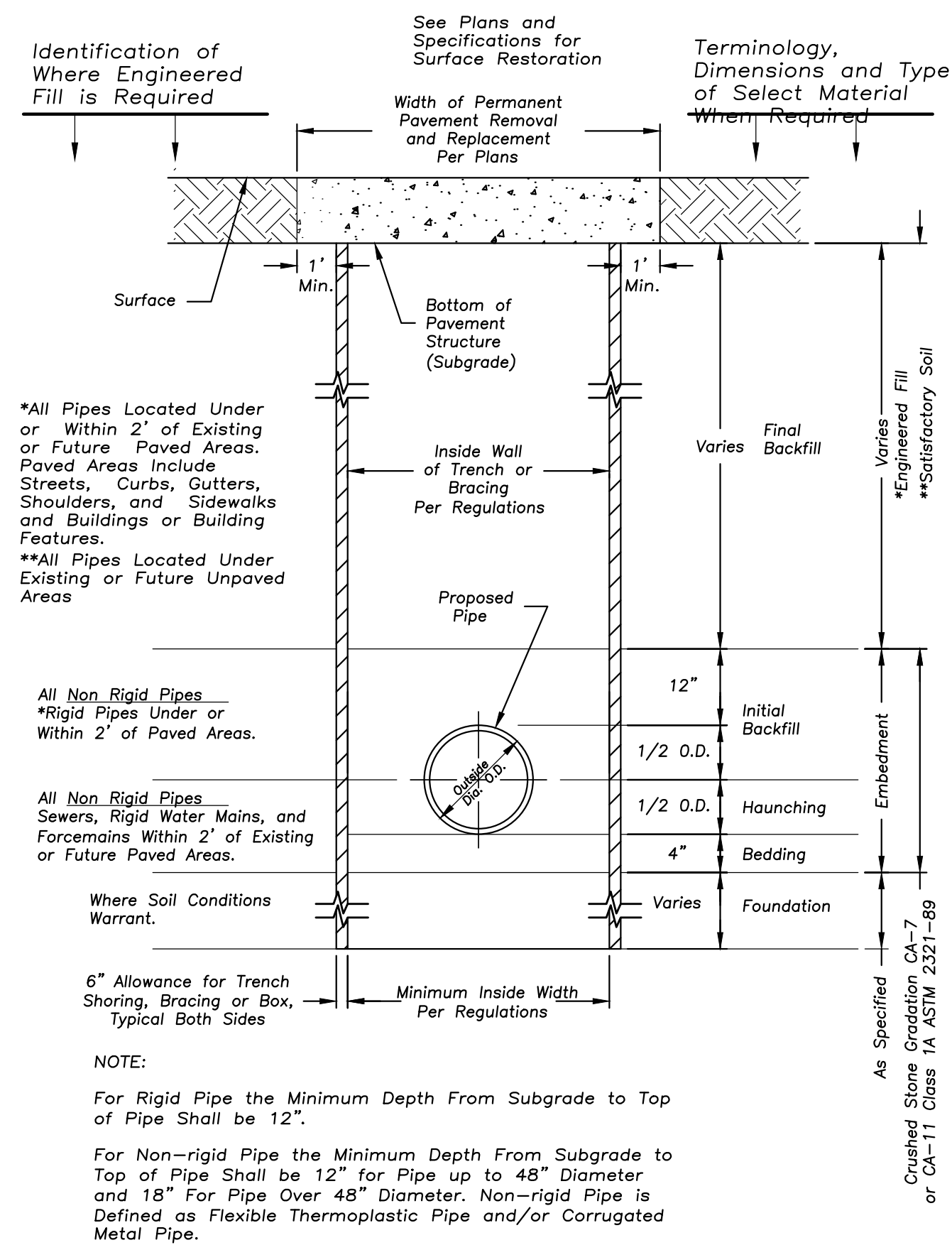
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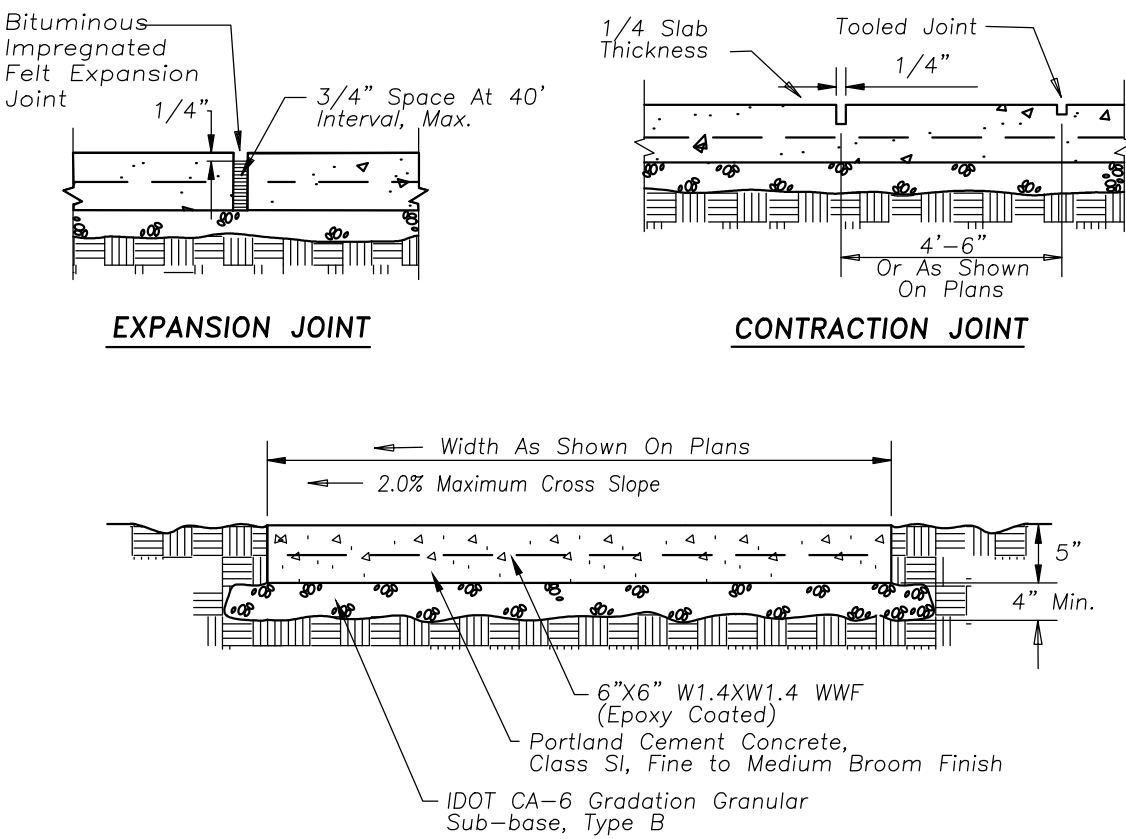


- NOTES:
1. OFFSET A MINIMUM OF 10 FEET FROM FOUNDATIONS UNLESS WATERPROOFED, 20 FEET FROM SANITARY SEWERS, 20 FEET FROM ROADWAY GRAVEL SHOULDER AND 100 FEET FROM POTABLE WATER WELLS OR SEPTIC TANKS.
 2. AVOID INSTALLATION AREAS OF COMPACTED FILL.
 3. WOVEN GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF IUM MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1, CLASS 1, WITH AN APPARENT OPENING SIZE OF 0.50 MM.
 4. STONE STORAGE OPTIONS ARE CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE. NO RECYCLED MATERIALS.
 5. AGGREGATE BASE OF ONE FOOT (MINIMUM) BELOW PRECAST REINFORCED RING AND SHALL PROVIDE ADEQUATE STRUCTURAL STABILITY PER SOIL CONDITIONS.
 6. MINIMUM DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF DRYWELL AND SEASONALLY HIGH GROUNDWATER LEVEL.

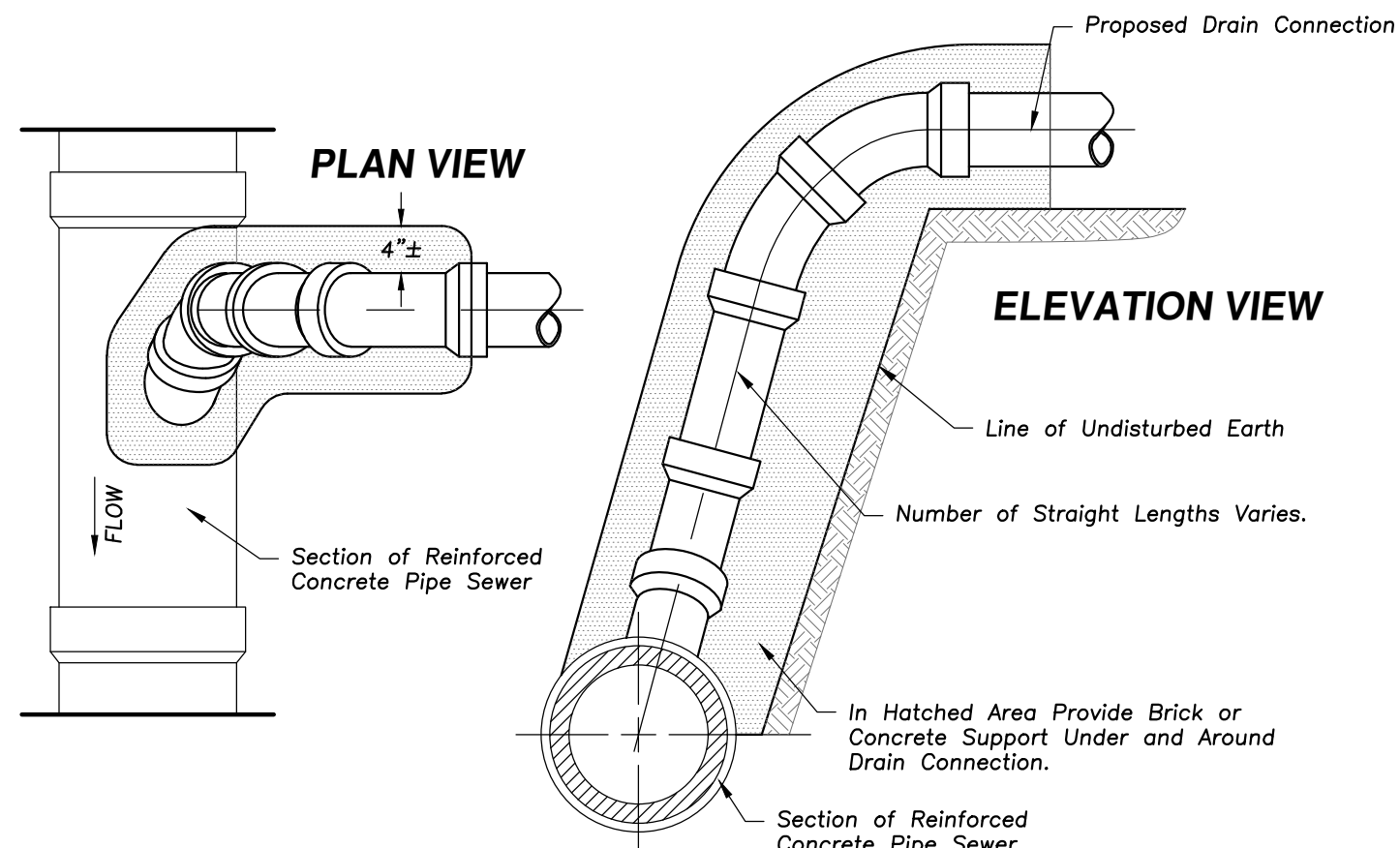
Dry Well Detail



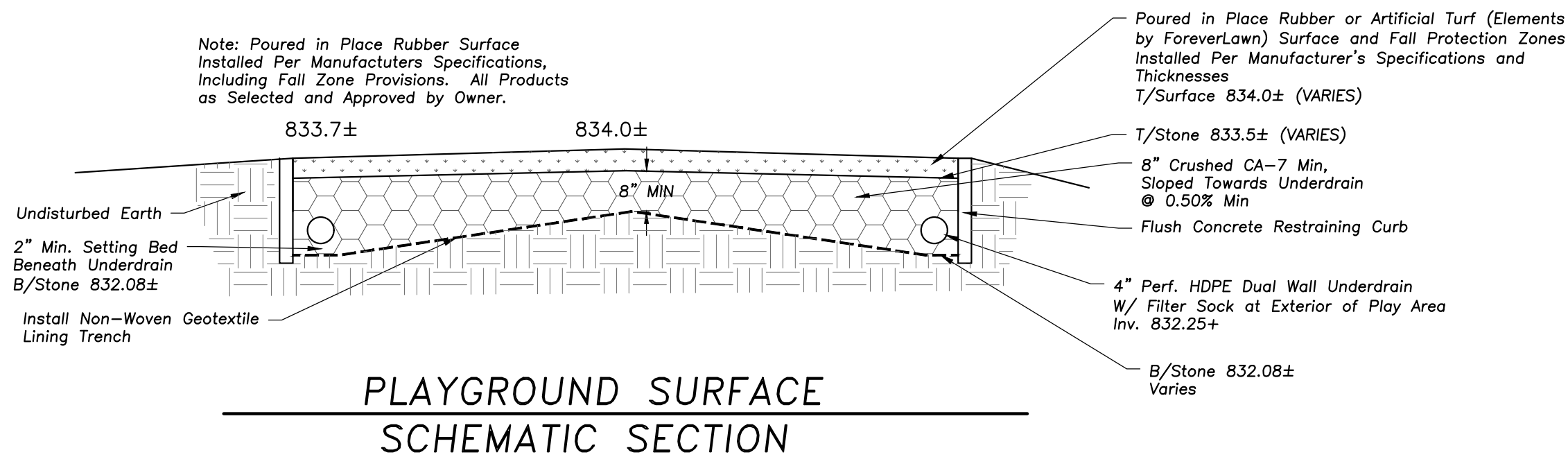
STANDARD SEWER AND WATER TRENCH SECTION



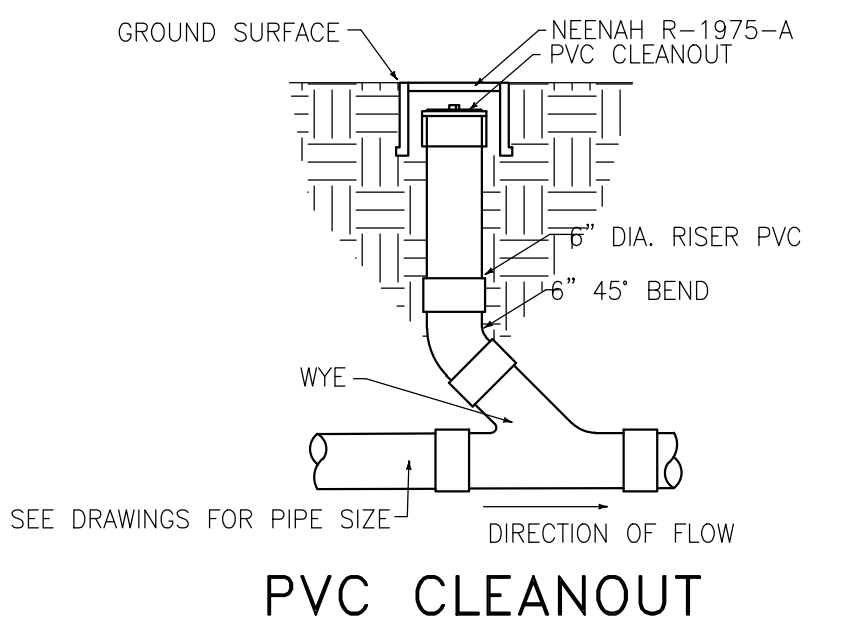
PORTLAND CEMENT CONC. SIDEWALK



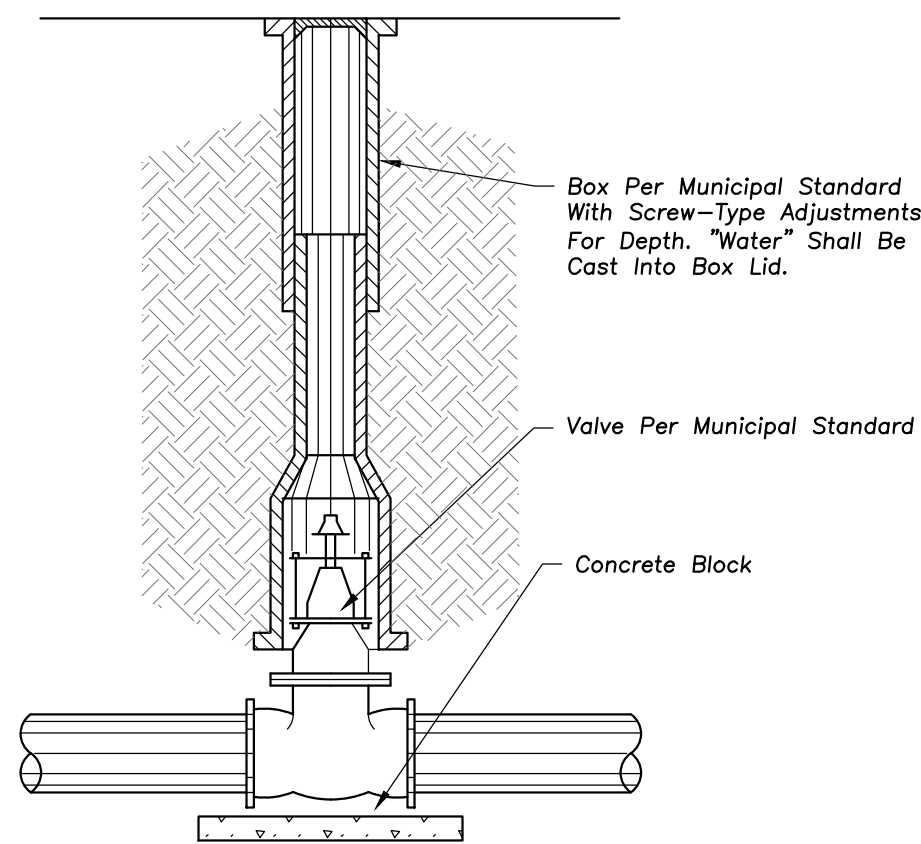
TYPICAL BLIND TAP CONNECTION



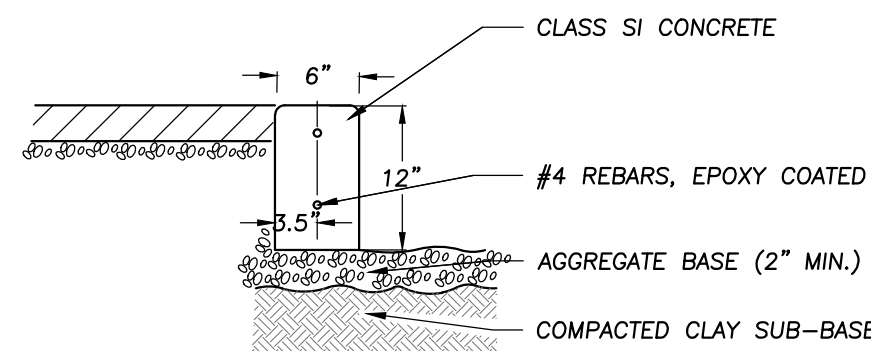
PLAYGROUND SURFACE SCHEMATIC SECTION



PVC CLEANOUT

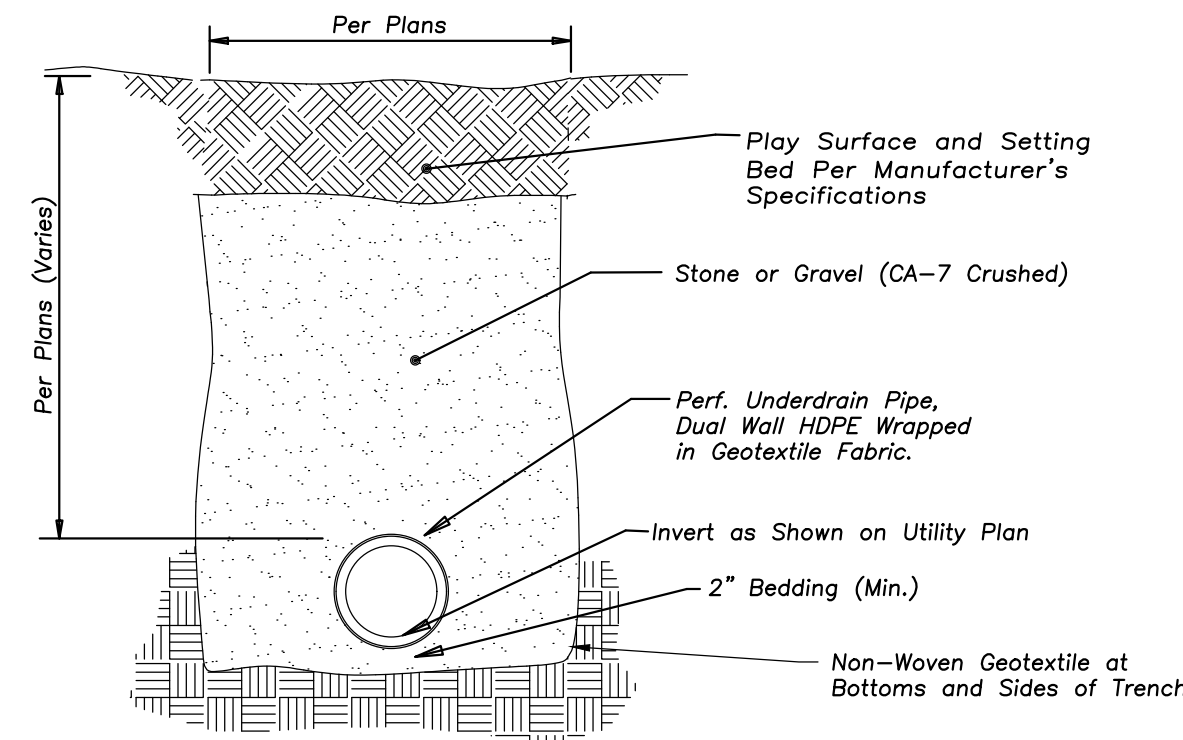


GATE VALVE IN BOX

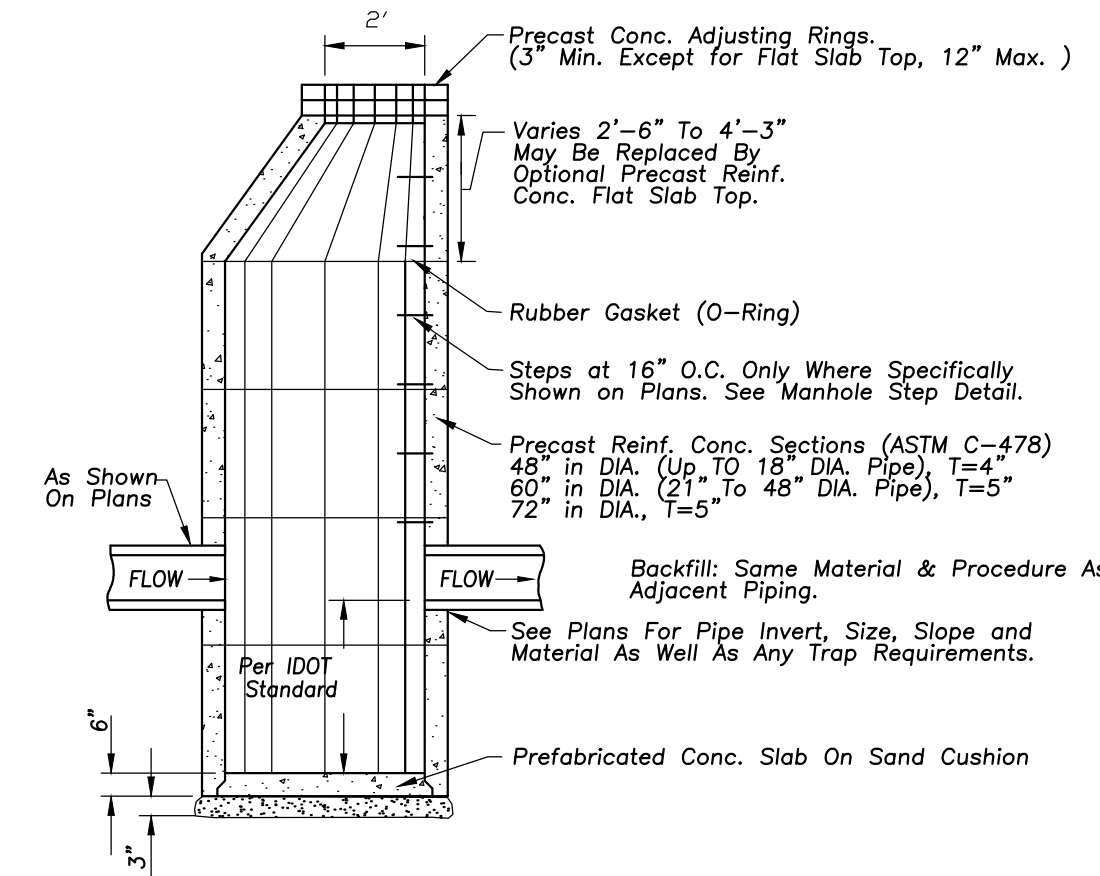


- NOTES:
1. A 1" EXPANSION JOINT SHALL BE INSTALLED AT ALL POINTS OF CURVATURE FOR SHORT RADIUS (UNDER 25 FT.) CURVES. MAXIMUM EXPANSION JOINT SPACING IS 50'. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1" THICK PREFORMED EXPANSION JOINT FILLER CONFORMING TO THE CURB AND GUTTER CROSS SECTION AND SHALL BE PROVIDED WITH ONE 1-1/4" DIAMETER, 18" LONG, COATED SMOOTH DOWEL BAR. THE DOWEL BAR SHALL BE FITTED WITH A CAP WITH A PINCHED STOP WHICH PROVIDES A MINIMUM OF 1" OF EXPANSION.
 2. MAXIMUM CONTRACTION/CONTROL JOINT SPACING SHALL BE (20') TWENTY FEET.

FLUSH CURB



PIPE UNDERDRAIN



CATCH BASIN



ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
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EXPIRES: 04/30/2027

HEPD
VOGELEI PARK - PHASE 2
650 W. HIGGINS ROAD
HOFFMAN ESTATES, ILLINOIS

Reserved for Seal:

No.	Date	Description
	04/30/25	ISSUE FOR BID & PERMIT

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Design By: JG Approved By: MR Date: 03/30/2025

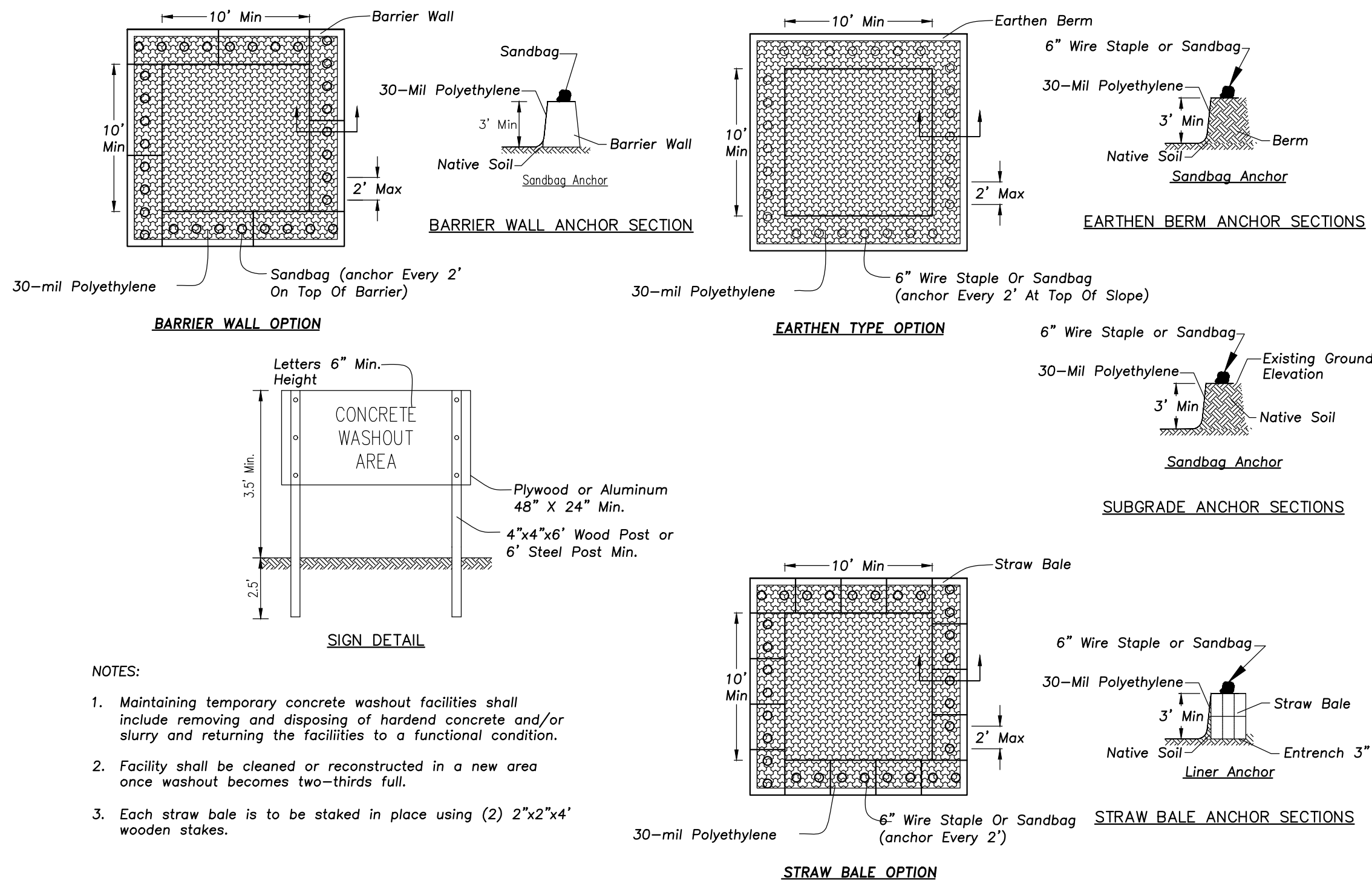
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SITE WORK
DETAILS

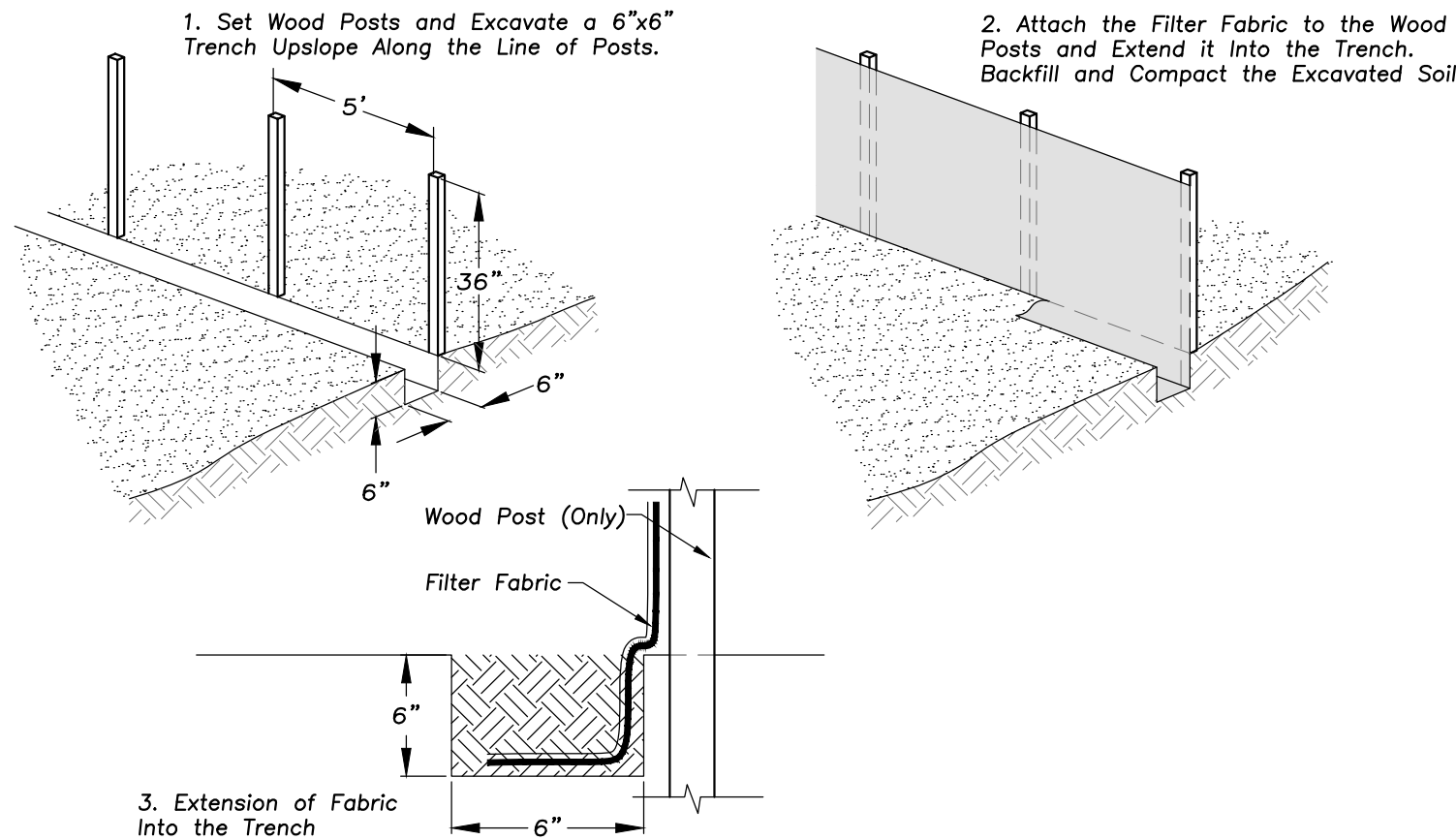
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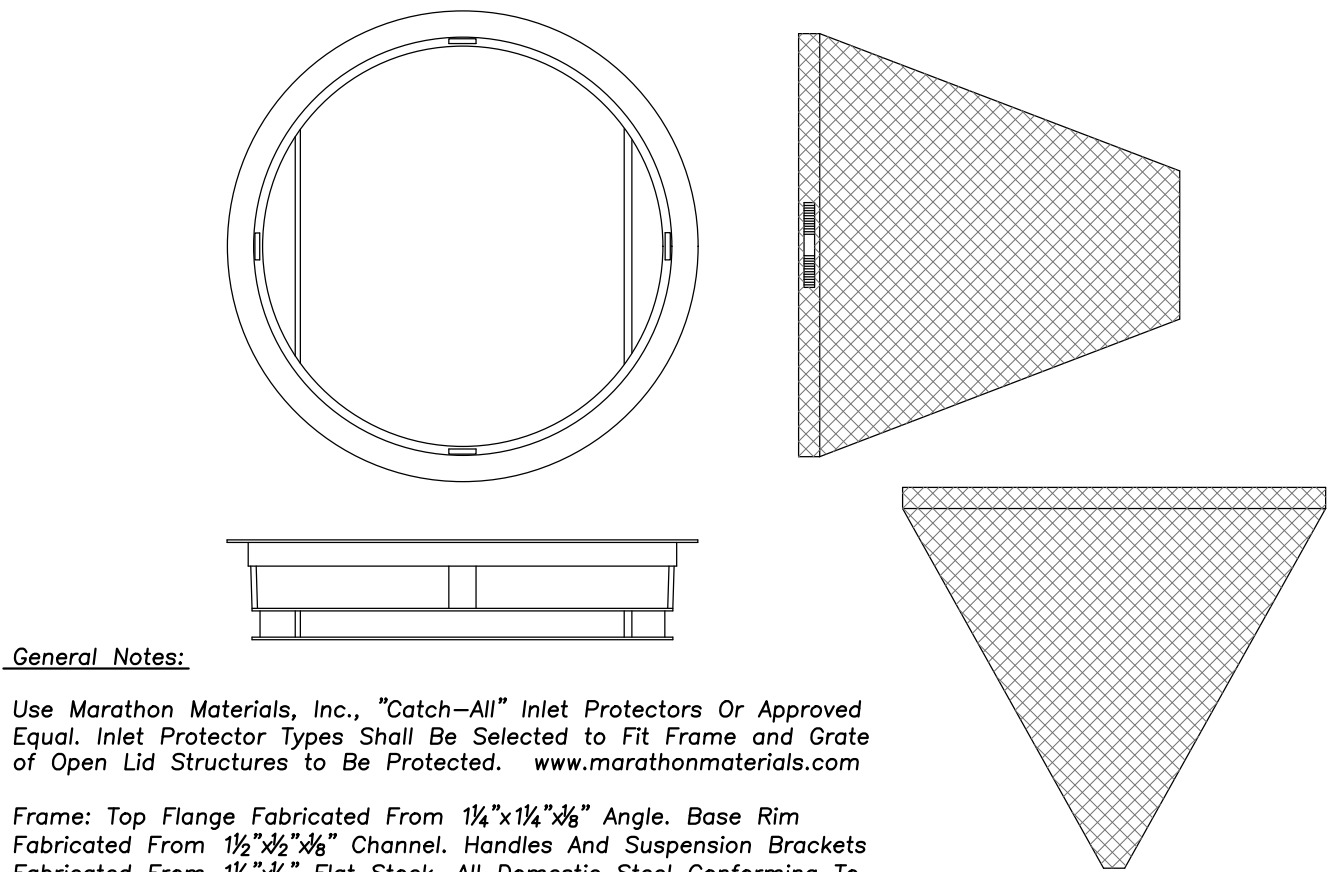
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Plotted: 4/29/25 @ 4:14pm By: jgeldmyer



CONCRETE WASHOUT FACILITY



SILT FENCE CONSTRUCTION (AASHTO 288-00)



General Notes:

Use Marathon Materials, Inc., "Catch-All" Inlet Protectors Or Approved Equal. Inlet Protector Types Shall Be Selected to Fit Frame and Grate of Open Lid Structures to Be Protected. www.marathonmaterials.com

Frame: Top Flange Fabricated From 1/4"x1/4"x6" Angle. Base Rim Fabricated From 1/2"x2"x6" Channel. Handles And Suspension Brackets Fabricated From 1/4"x4" Flat Stock. All Domestic Steel Conforming To ASTM-A36.

Sediment Bag: Bag Fabricated From 4 Oz./sq.yd. Non-woven Polypropylene Geotextile Reinforced With Polyester Mesh. Bag Secured To Base Rim With A Stainless Steel Strap And Lock.

Install Baskets In All Existing Storm Inlets Prior To Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

INLET PROTECTORS - SEDIMENT BAG



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Design By:	Approved By:	Date:
JG	MR	03/30/2025

Sheet Title:

SITE WORK
DETAILS

Sheet No:

C601