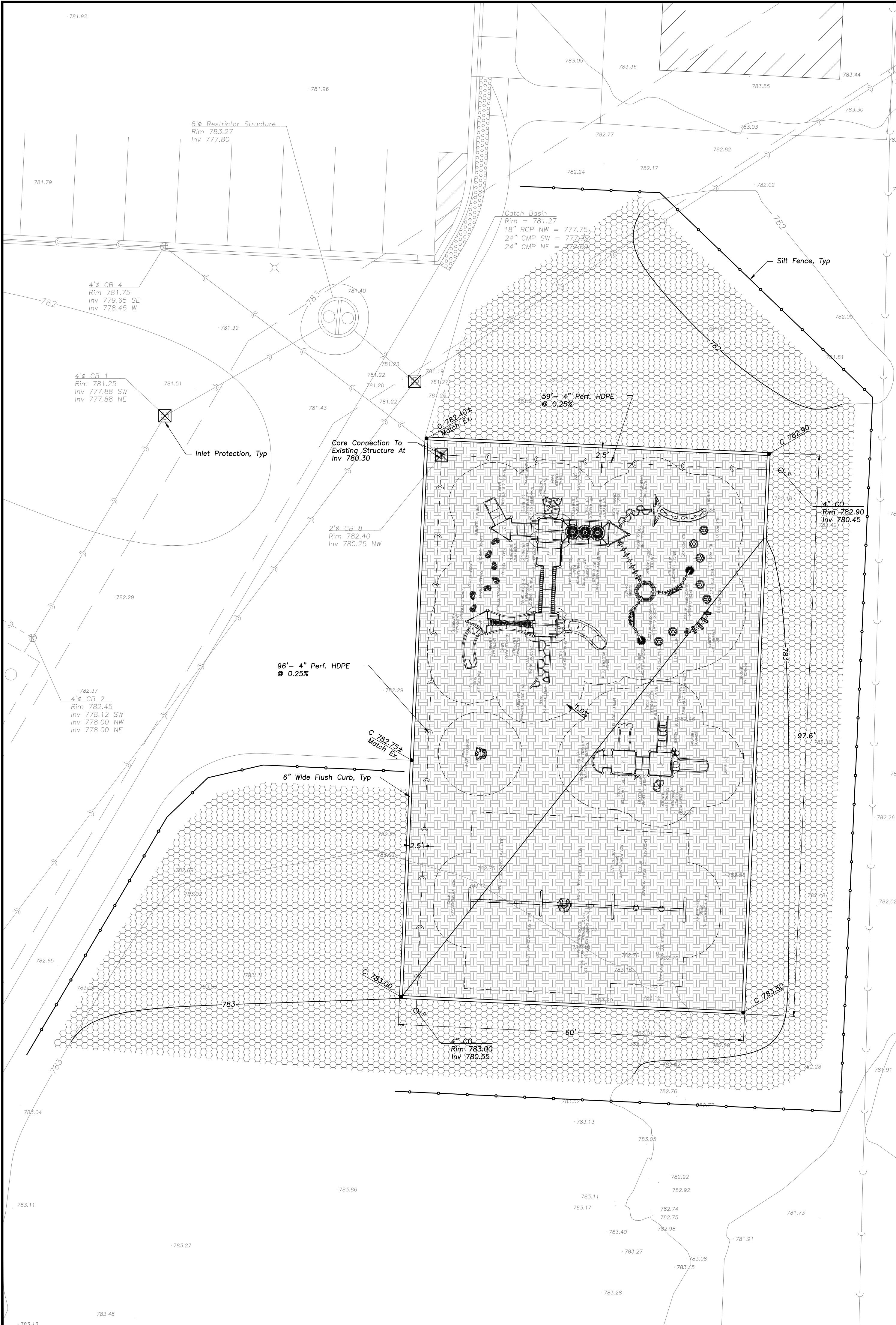


EEA - P:\24056 - HEFD - Sycamore Park Drawings\Sycamore Park Playground Site Plandwg
Plotted: 3/03/25 @ 5:04pm By: nhart



PAVING & SURFACE LEGEND

- Concrete Sidewalk Section
Curing and Sealing Compound
5" Portland Cement Concrete
6"x6" W1.4xW1.4 Welded Wire Fabric
4" Aggregate Base Course, Type B, Crushed
- Synthetic Turf Section
Turf Product Selected By Owner
6" Aggregate Base Course, Type B, Crushed, CA-7

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Catch-All, Park Chop Sedguard (or equal) Paved or Existing Stabilized Areas
- Erosion Control Blanket
North American Green DS75 Or Approved Equal

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.

UTILITY NOTES

- This Project Is Located In A Separate Sewer Area.
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- Protection Of Water Supplies Shall Be As Described In Section 370.350 Of The Illinois Recommended Standards For Sewage Works Or Section 41-2.01 Of The Standard Specifications For Water and Sewer Main Construction in Illinois, Latest Edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Adjust Frame Elevations Of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.
- Obtain As-Built Information For All Pipes, In Accordance With As-Built Document Requirements.

GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 inches (Min.) to 12 inches (Max.) Topsoil and Restored With Seed And Blanket.
- Adjust Frame Elevations Of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Watties Around The Grate in Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation.
- All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II Requirements.
- Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
- Unless otherwise indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials if They Occur In Accordance with IEPA NPDES Requirements.
- All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to Open Water.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By Marchese and Sons, Inc. For School District No. 54 on December 9, 2023. Order Number 16-16603 "A"

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

LEGEND

- | EXISTING | PROPOSED |
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GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown Hereon Are Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Hoffman Estates A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



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PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2025

**SYCAMORE PARK
PARK IMPROVEMENTS**
450 HILLCREST BLVD
HOFFMAN ESTATES, ILLINOIS

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Design By:	Approved By:	Date:
NH	KC	01/31/25

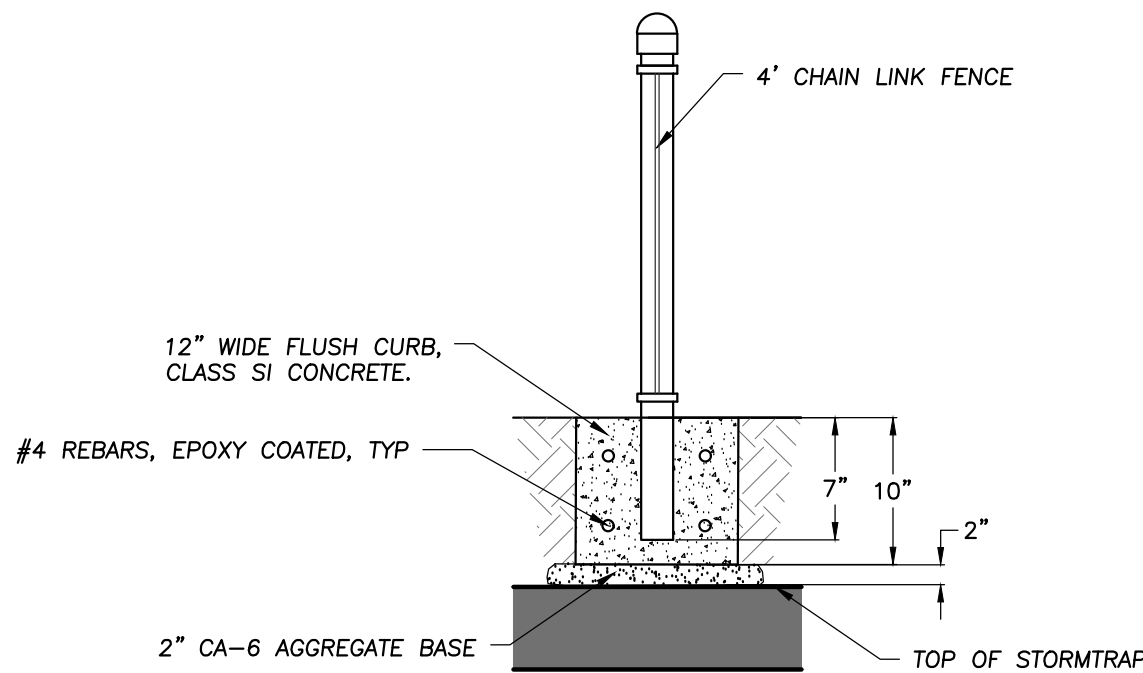
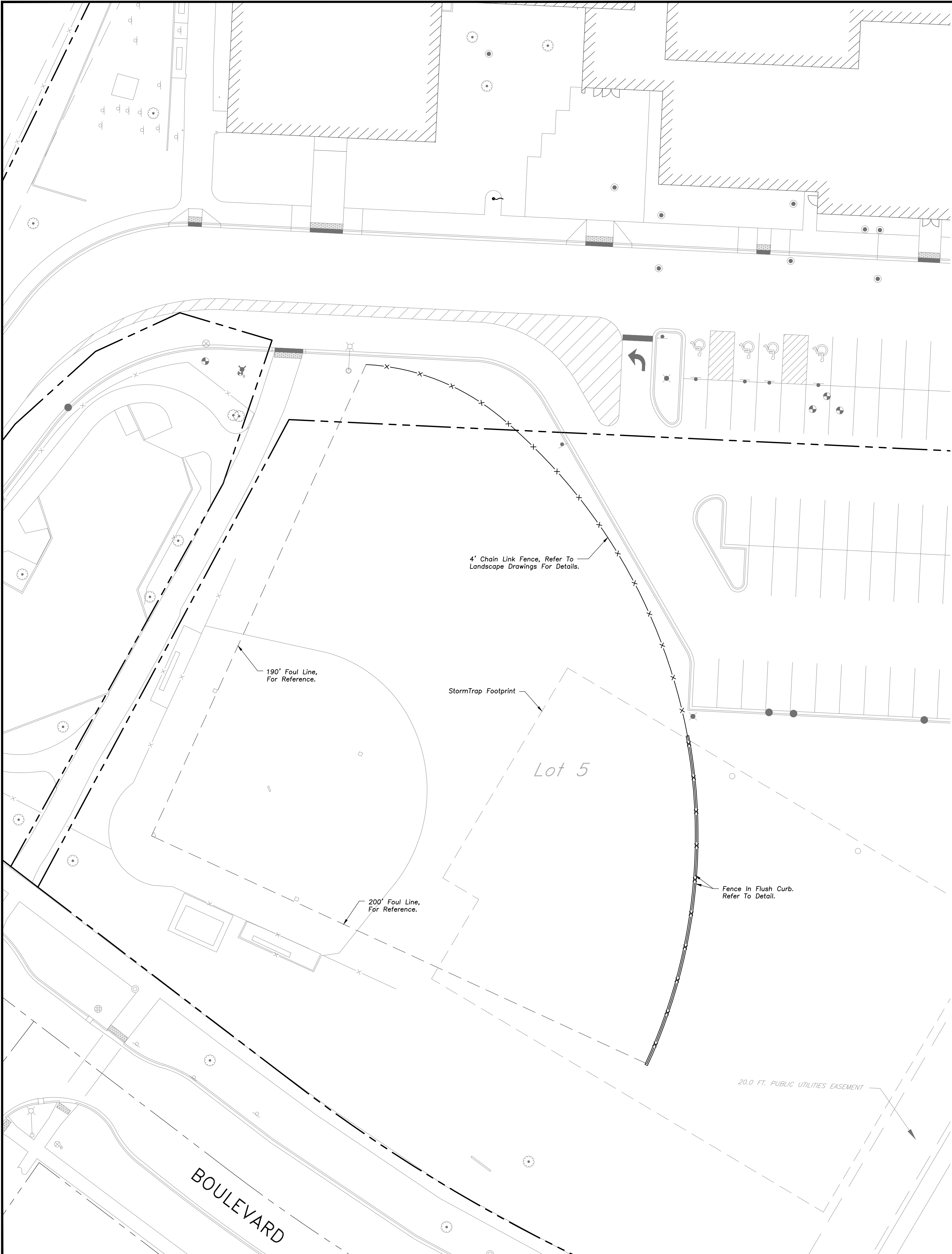
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**PROPOSED
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PLAYGROUND**

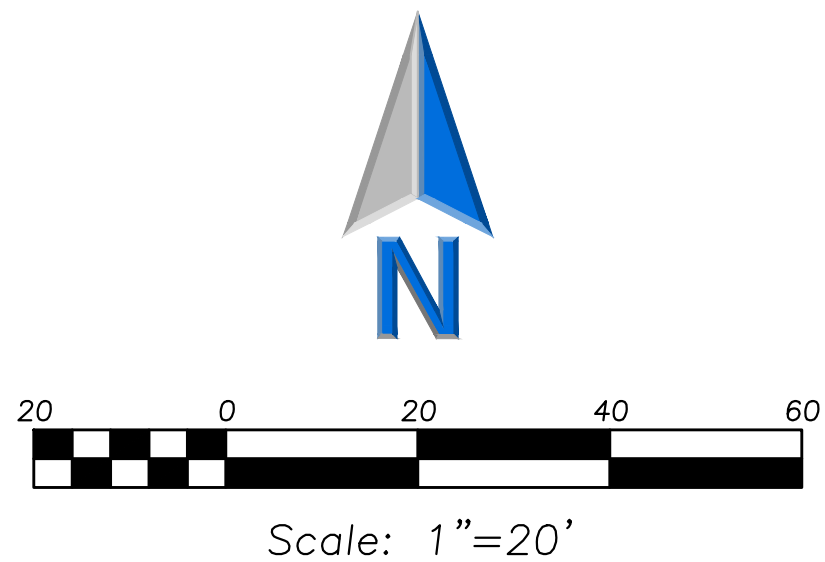
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EEA - P:\24056 - HEFD - Sycamore Park Drawings\Sycamore Park Playground Site Plan.dwg
Plotted: 3/03/25 @ 5:04pm By: nhart



FENCE IN FLUSH CURB



LEGEND	
EXISTING	PROPOSED

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- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By Marchese and Sons, Inc. For School District No. 54 on December 9, 2023. Order Number 16-16603 "A"

J.U.L.I.E.

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SYCAMORE PARK PARK IMPROVEMENTS

450 HILLCREST BLVD
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Design By: NH	Approved By: KC	Date: 01/31/25
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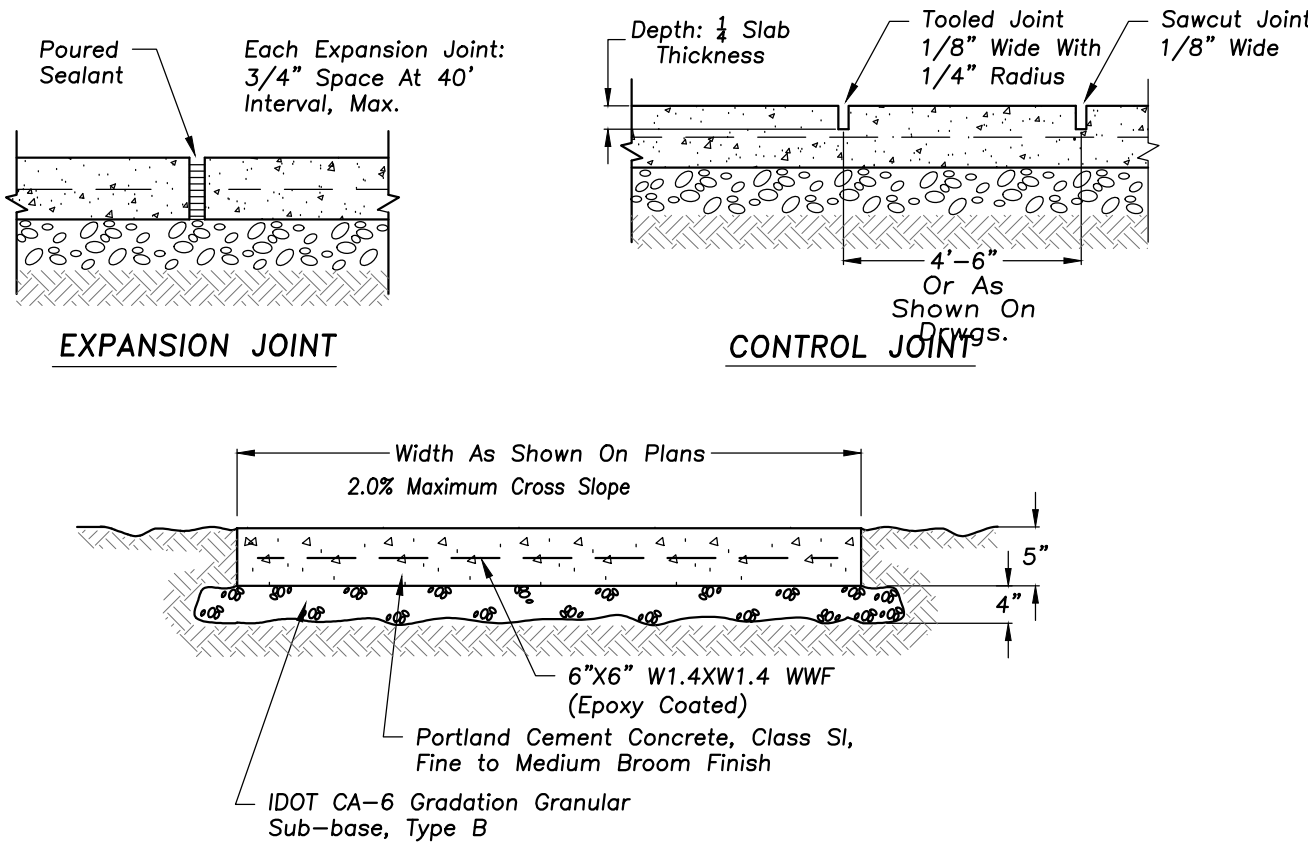
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PROPOSED
SITE PLAN -
OUTFIELD FENCE

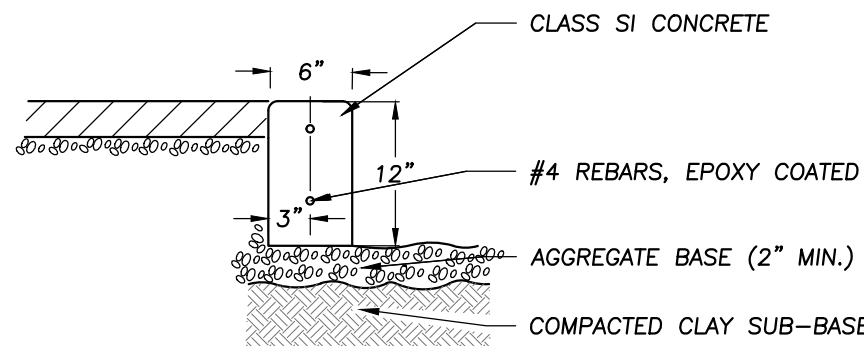
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Plotted: 3/03/25 @ 5:04pm By: nhart

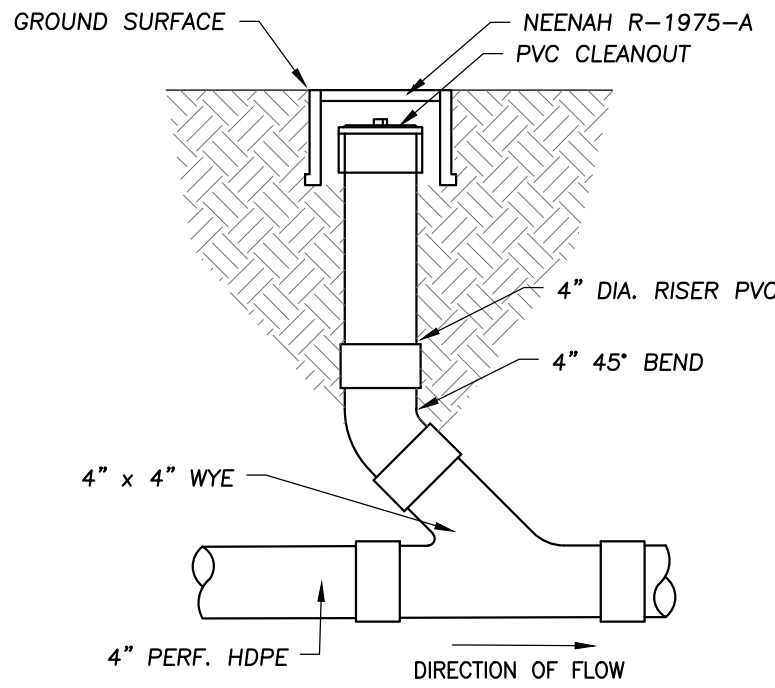


PORTLAND CEMENT CONC. SIDEWALK

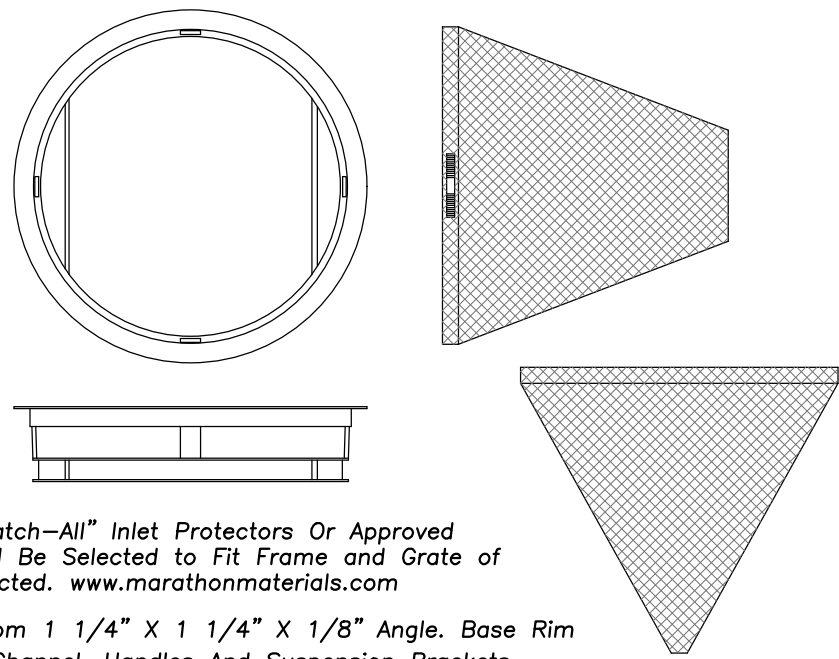


- NOTES:
1. A 1" EXPANSION JOINT SHALL BE INSTALLED AT ALL POINTS OF CURVATURE FOR SHORT RADIUS (UNDER 25 FT.) CURVES. MAXIMUM EXPANSION JOINT SPACING IS 50'. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1" THICK PREFORMED EXPANSION JOINT FILLER CONFORMING TO THE CURB AND GUTTER CROSS SECTION AND SHALL BE PROVIDED WITH ONE 1-1/4" DIAMETER, 18" LONG, COATED SMOOTH DOWEL BAR. THE DOWEL BAR SHALL BE FITTED WITH A CAP WITH A PINCHED STOP WHICH PROVIDES A MINIMUM OF 1" OF EXPANSION.
 2. MAXIMUM CONTRACTION/CONTROL JOINT SPACING SHALL BE (20') TWENTY FEET.

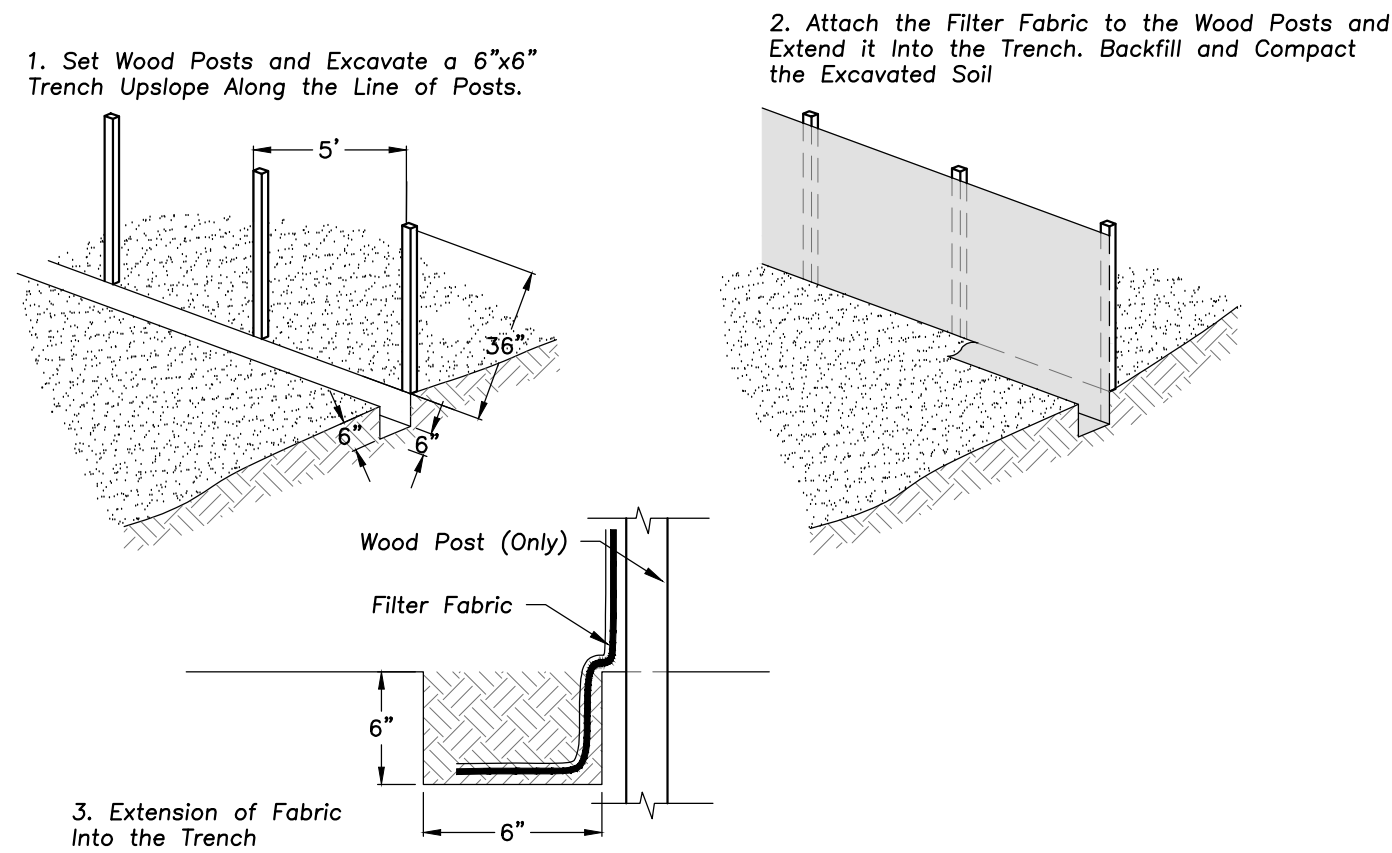
6" WIDE FLUSH CURB



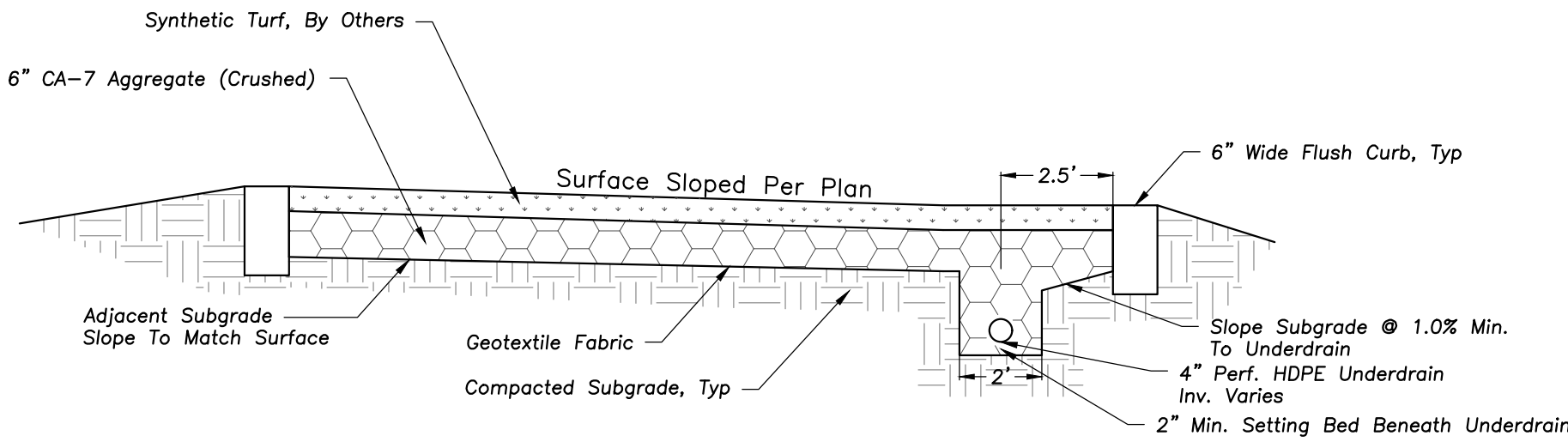
4" CLEANOUT



INLET PROTECTORS – SEDIMENT BAG



SILT FENCE CONSTRUCTION (AASHTO 288-00)



SUBSURFACE DRAINAGE



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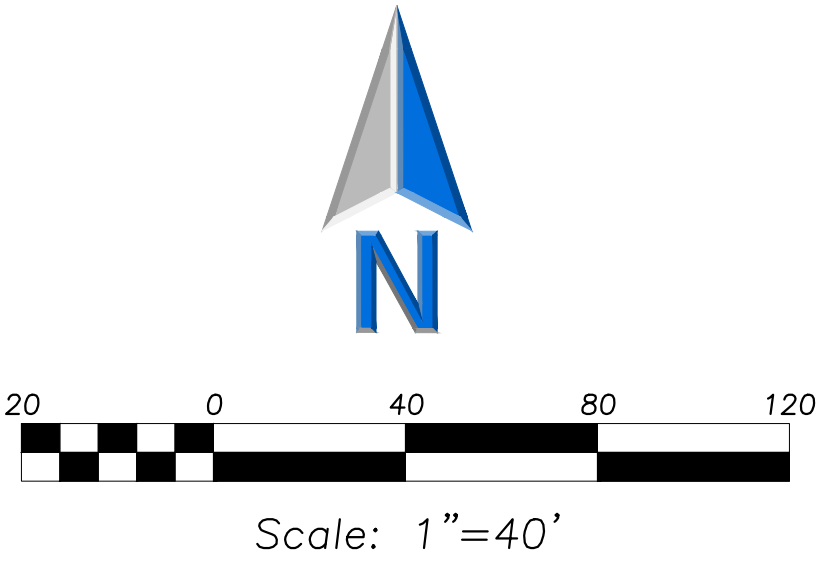
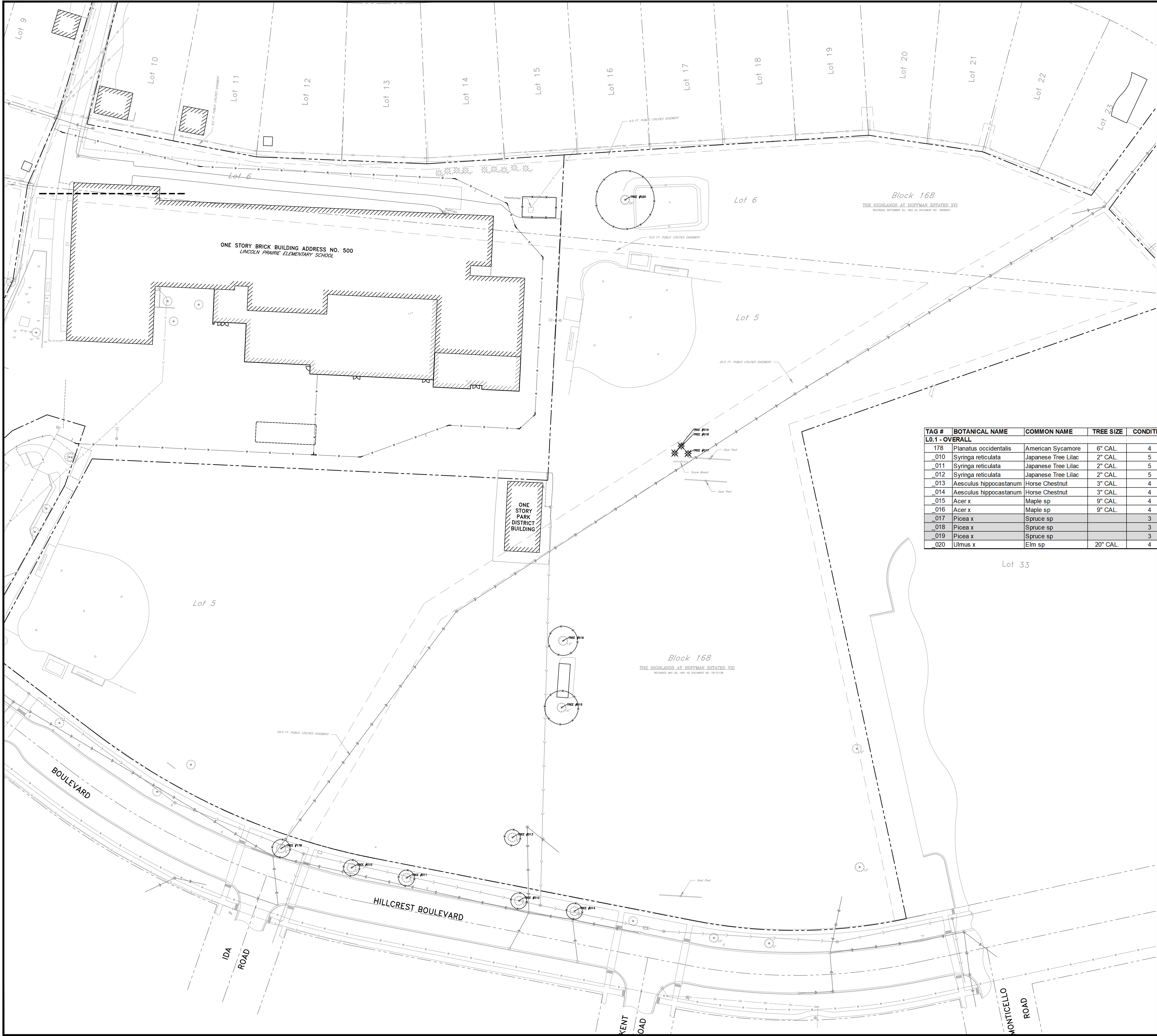
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CIVIL DETAILS

Sheet No:

C3.1

EEA - P:\24056 - HEPD - Sycamore Park\Drawings\Sycamore Park_Landscape.dwg
Plotted: 3/03/25 @ 5:18pm By: jandersson



TREE PRESERVATION NOTES

1. TREE PROTECTION AS INDICATED ON PLANS. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A MINIMUM DISTANCE OF 8.5' FROM THE TRUNK.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
3. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
4. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
5. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
6. NOTIFY OWNER PRIOR TO REMOVING ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
7. PRUNE AND FERTILIZE VEGETATION AS INDICATED ON PLANS.
8. TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
9. TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.
10. GRIND REMAINING TREE STUMPS MINIMUM 6" BELOW GRADE. ADD TOPSOIL, SEED AND BLANKET
11. THE EXACT LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES. FOR UTILITY LOCATIONS. CALL: J.U.L.I.E. 1 (800) 892-0123

TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	FORM	OBSERVED PROBLEMS	COMMENTS
L0.1 - OVERALL							
178	Planatus occidentalis	American Sycamore	6" CAL	4	4		
_010	Syringa reticulata	Japanese Tree Lilac	2" CAL	5	5		
_011	Syringa reticulata	Japanese Tree Lilac	2" CAL	5	5		
_012	Syringa reticulata	Japanese Tree Lilac	2" CAL	5	5		
_013	Aesculus hippocastanum	Horse Chestnut	3" CAL	4	4		Memorial Tree
_014	Aesculus hippocastanum	Horse Chestnut	3" CAL	4	4		
_015	Acer x	Maple sp	9" CAL	4	4		
_016	Acer x	Maple sp	9" CAL	4	4		
_017	Picea x	Spruce sp		3	4		To be removed
_018	Picea x	Spruce sp		3	4		To be removed
_019	Picea x	Spruce sp		3	4		To be removed
_020	Ulmus x	Elm sp	20" CAL	4	4		



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**SYCAMORE PARK
PARK IMPROVEMENTS**
HOFFMAN ESTATES PARK DISTRICT
HOFFMAN ESTATES, ILLINOIS

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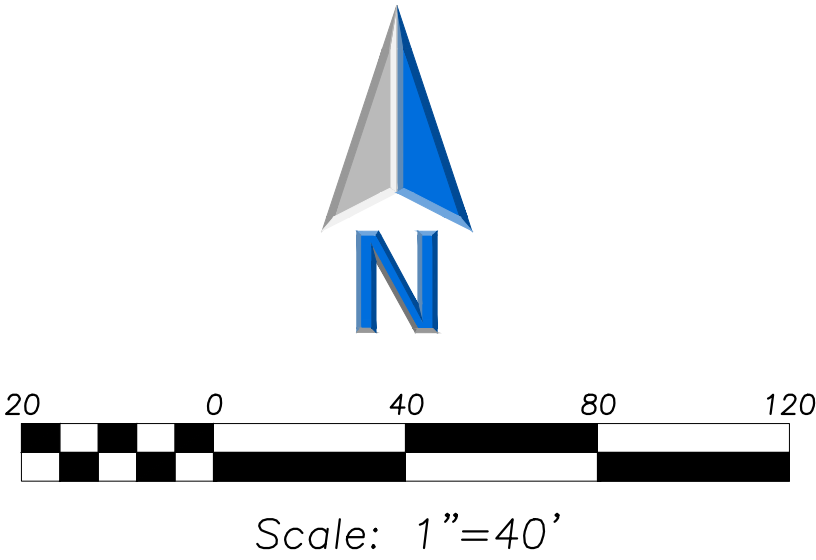
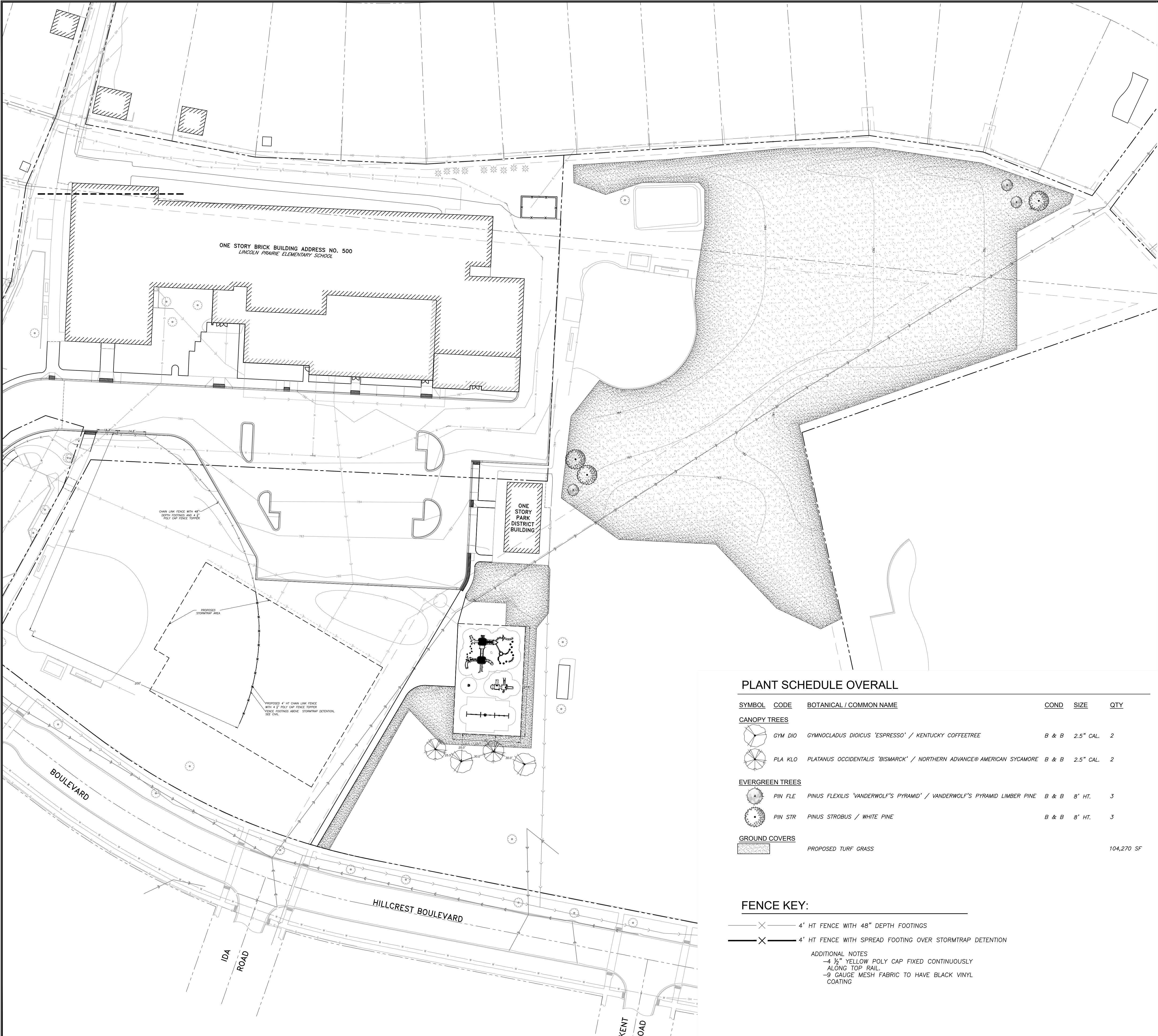
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Design By: JA	Approved By: KC	Date: 01/31/25
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Sheet Title:
**SITE EXISTING
CONDITIONS PLAN
OVERALL**

Sheet No:
L0.1

EEA - P:\24056 - HEPD - Sycamore Park\Drawings\Sycamore Park_Landscape.dwg
Plotted: 3/03/25 @ 5:17pm By: jandersson



LANDSCAPE NOTES:

- SUBMIT LANDSCAPE CONTRACTOR NAME WITH BID FOR OWNER APPROVAL. INCLUDE RESUMES OF KEY INDIVIDUALS TO PERFORM WORK FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO REVIEW THE SPECIFIED MAINTENANCE REQUIREMENTS, SECTION 32 93 00, AND SUBMIT ACKNOWLEDGEMENT FORMS WITH THE BID ON CONTRACTOR'S LETTERHEAD.
- SUBMIT AND UPDATE LANDSCAPE PROJECT SCHEDULES. SEE GENERAL LANDSCAPE SITEWORK NOTES. THE GENERAL CONTRACTOR IS TO PHASE CONSTRUCTION TO COMPLETE SOIL AND PLANTING INSTALLATION WITHIN TYPICAL PLANTING SEASONS. INCLUDE DATES ON SCHEDULES FOR LANDSCAPE ARCHITECT REVIEW.
- MONITOR AND PROTECT FINAL GRADE SUBSOIL, FINISHED GRADE PLANTING SOIL, AND NEW PLANTING INSTALLATIONS FROM CONSTRUCTION ACCESS. PROHIBIT TRAFFIC, STORAGE, CONSTRUCTION DAMAGE THROUGH SITE MANAGEMENT, MONITORING, SIGNAGE AND TEMPORARY PROTECTIVE FENCING. PROTECT COMPLETED PLANT INSTALLATIONS FROM DAMAGE THROUGH SUBSTANTIAL COMPLETION. PROTECT SEEDED AREAS THROUGH THE WARRANTY PERIOD.
- EXISTING TREES INDICATED AS PROTECTED, MUST BE FENCED, WATERED THROUGH THE CONSTRUCTION PERIOD.
- THE OWNER RESERVES THE RIGHT TO PURCHASE AND PROVIDE PLANT MATERIAL FOR CONTRACTOR INSTALLATION AT NO ADDITIONAL COST TO THE CONTRACT. THE CONTRACTOR BEARS THE RESPONSIBILITY TO RESEVE, INSPECT, APPROVE, TRANSPORT, INSTALL, MAINTAIN, AND WARRANTY THE PLANTS. THE OWNER RESERVES THE RIGHT TO INSPECT PLANT MATERIAL ON SITE PRIOR TO INSTALLATION
- ALLOW FOR SETTLING WHEN INSTALLING PLANTING SOIL GRADES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SOIL GRADES AND CORRECT HEIGHTS FOR PLANT MATERIAL THROUGH THE WARRANTY PERIOD. FINISHED GRADE TO BE REVIEWED 3, 6, AND 9 MONTHS FOLLOWING INSTALLATION, PER OWNER DIRECTION. THE CONTRACTOR MAY BE REQUIRED TO CORRECT VARIATIONS IN GRADE GREATER THAN 4" HIGHER OR 0" LOWER THAN SPECIFIED AT NO ADDITIONAL COST TO THE CONTRACT. THE CONTRACTOR SHALL NOT TOP DRESS THE PLANTING SOIL TO A DEPTH WHICH CREATES POOR DRAINAGE OR RESULTS IN PLANTS BEING TOO DEEP. CONTRACTOR TO MAINTAIN CLEAN AND SEPARATE SOIL, GRAVEL, AND SAND LAYERS
- TREE PLANTING PITS MUST DRAIN FREELY AND BE FREE OF CONSTRUCTION SCRAP, TRASH, DEBRIS, AND NON-SOIL MATERIAL
- TEST PERCOLATION PRIOR TO PLANT INSTALLATION. SEE SPECIFICATIONS FOR DRAINAGE LIMITS AND TOLERANCES. TEST PERCOLATION OF SWALE AREAS FOR SPECIFIED INFILTRATION RATES. NOTIFY OWNER OF RESULTS AND INSTALL ADDITIONAL SUBDRAINAGE IF DIRECTED BY OWNER AS PART OF THIS WORK
- CONTRACTOR MUST NOT SHAVE TREE ROOT BALLS. SEE DETAIL NOTES SHEET L2.0 SERIES FOR ADDITIONAL PLANTING REQUIREMENTS
- PROVIDE TEMPORARY IRRIGATION FOR ALL PLANTINGS THROUGHOUT ESTABLISHMENT AND WARRANTY PERIOD. INCLUDE MAINTENANCE FOR DURATION SPECIFIED, INCLUDING REMOVAL OF TRASH, PRUNING, WEEDING, CULTIVATING, REPLACEMENT OF DEAD PLANTS, REPLENISH MULCH IN FALL AND SPRING SEASONS. MONITOR PLANTS FOR HEALTH AND TREAT FOR DISEASE AND INFESTATION WITH ASSISTANCE FROM QUALIFIED ARBORIST AND HORTICULTURALIST. MONITOR PLANT ESTABLISHMENT DAILY FOR FIRST 3 WEEKS, TWICE WEEKLY FOLLOWING 2 MONTHS, WEEKLY SUCCEEDING 2 MONTHS. CONTRACTOR TO PROVIDE IRRIGATION AND HAND-WATERING AS NEEDED.
- EXISTING PLANTS TO REMAIN WILL BE INSPECTED BY THE LANDSCAPE ARCHITECT FOLLOWING CONSTRUCTION. PLANTS TO REMAIN MAY REQUIRE REPLACEMENT ON BASIS OF CONDITION FOLLOWING CONSTRUCTION. REPLACEMENT TREES TO BE SPECIFIED BY THE LANDSCAPE ARCHITECT AT A 4" CALIPER SIZE.
- EVALUATION FOR SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE WILL BE EVALUATED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- PLANTING SOIL, BIOSWALE SOIL: MEETING PHYSICAL AND CHEMICAL CHARACTERISTICS OF SANDY LOAM SOIL ORIGINATING FROM THE NE INDIANA LAKEFRONT REGION NOT EXCEEDING 12% CLAY, STATE ENVIRONMENTAL PER PROJECT REQUIREMENTS, AGRONOMIC TESTING STANDARDS, AND MEETING 100% CD SOIL SPECIFICATIONS.
- PLANTING SOIL DEPTHS: PROVIDE MINIMUM DEPTHS AS FOLLOWS: CANOPY TREE PLANTING-36", ORNAMENTAL TREE AND SHRUB PLANTING-24", HERBACEOUS, GRASSES -18", SEEDED AREAS, SOD LAWN - 12". REQUIRES OWNER APPROVAL OF SPECIFIED SUBGRADE PRIOR TO PLACEMENT; MUST BE NATURALLY OCCURRING NATIVE SOIL MATERIAL MEETING PERCOLATION REQUIREMENTS, FREE OF GRAY CLAY AND STONES GREATER THAN 1". REMOVE FOREIGN OBJECTS. BACKFILL TO MEET APPROVAL OF OWNER PRIOR TO INSTALLATION OF SPECIFIED PLANTING SOIL, SEE 100% CD SPECIFICATIONS.
- AREAS INDICATED AS BLUEGRASS SOD TO BE SODDED. PROVIDE ALTERNATE PRICE FOR SEEDING, INCLUDING MAINTENANCE BY OWNER FOLLOWING ACCEPTANCE.
- ALL MATERIAL TO BE PLANTED IN PROXIMITY TO UTILITIES OR IN THE PARKWAY WILL BE HAND DUG ONLY. ANY AND ALL UTILITIES ENCOUNTERED DURING THE PLANTING OF THE PARKWAY TREES SHALL BE PROTECTED FROM DAMAGE. IF ANY UTILITIES ARE DAMAGED THE CONTRACTOR IS RESPONSIBLE FOR THE DAMAGE SHALL REPAIR ALL DAMAGES AND RESTORE THE DAMAGED PORTION OF THE UTILITY TO ITS PRE-CONSTRUCTION CONDITION.
- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.

PLANT SCHEDULE OVERALL

SYMBOL	CODE	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CANOPY TREES					
	GYM DIO	GYMNOCLADUS DIOICUS 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL.	2
	PLA KLO	PLATANUS OCCIDENTALIS 'BISMARCK' / NORTHERN ADVANCE® AMERICAN SYCAMORE	B & B	2.5" CAL.	2
EVERGREEN TREES					
	PIN FLE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID LUMBER PINE	B & B	8' HT.	3
	PIN STR	PINUS STROBUS / WHITE PINE	B & B	8' HT.	3
GROUND COVERS					
		PROPOSED TURF GRASS			104,270 SF

FENCE KEY:

- X — 4' HT FENCE WITH 48" DEPTH FOOTINGS
- X — 4' HT FENCE WITH SPREAD FOOTING OVER STORMTRAP DETENTION
- ADDITIONAL NOTES
- 4 1/2" YELLOW POLY CAP FIXED CONTINUOUSLY ALONG TOP RAIL.
 - 9 GAUGE MESH FABRIC TO HAVE BLACK VINYL COATING



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SYCAMORE PARK
PARK IMPROVEMENTS
HOFFMAN ESTATES PARK DISTRICT
HOFFMAN ESTATES, ILLINOIS

Reserved for Seal:

No.	Date	Description
	01/31/25	ISSUE FOR BID
	03/03/25	PLAN REVISIONS

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Design By:	Approved By:	Date:
JA	KC	01/31/25

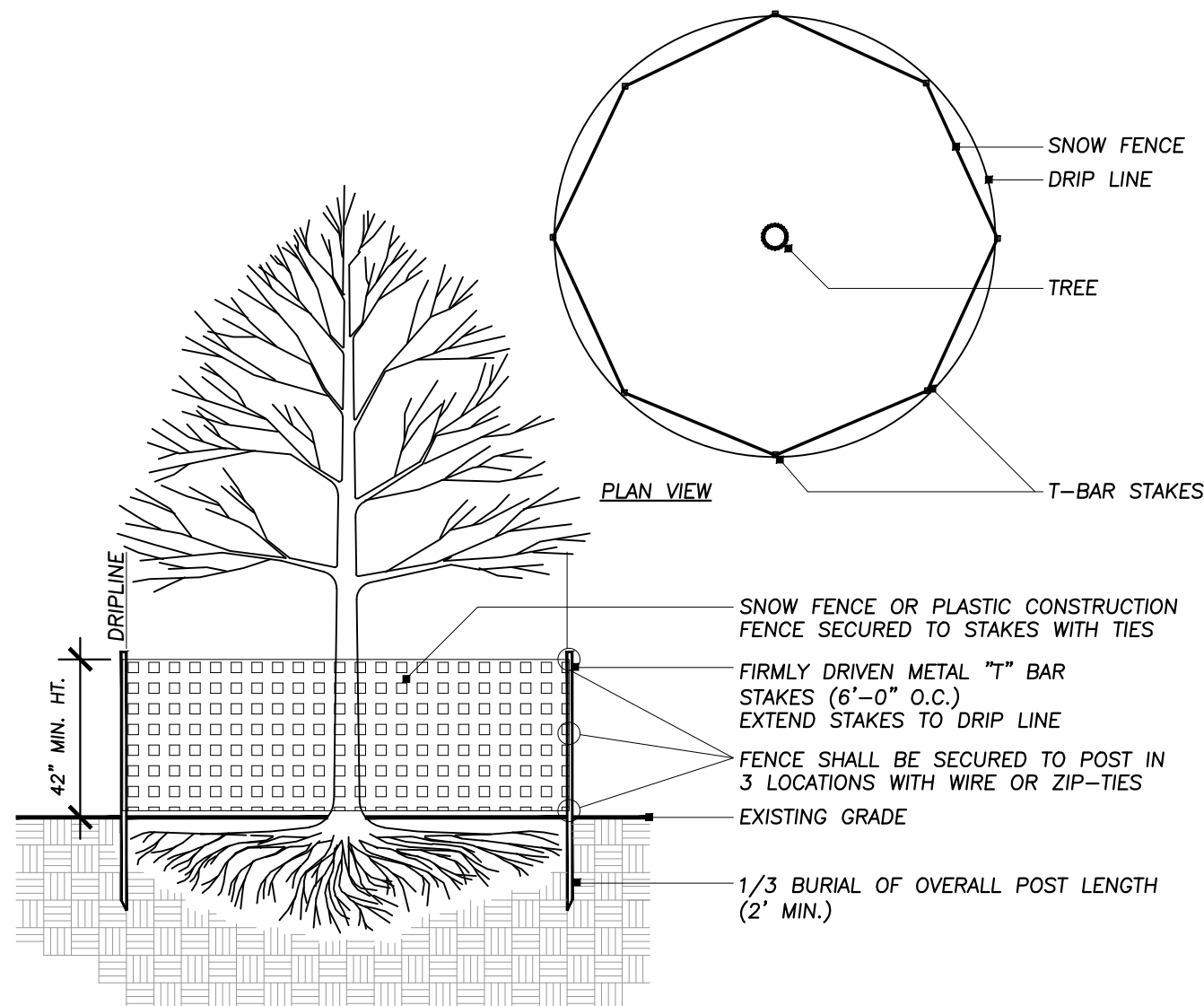
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SITE LANDSCAPE
PLAN
OVERALL

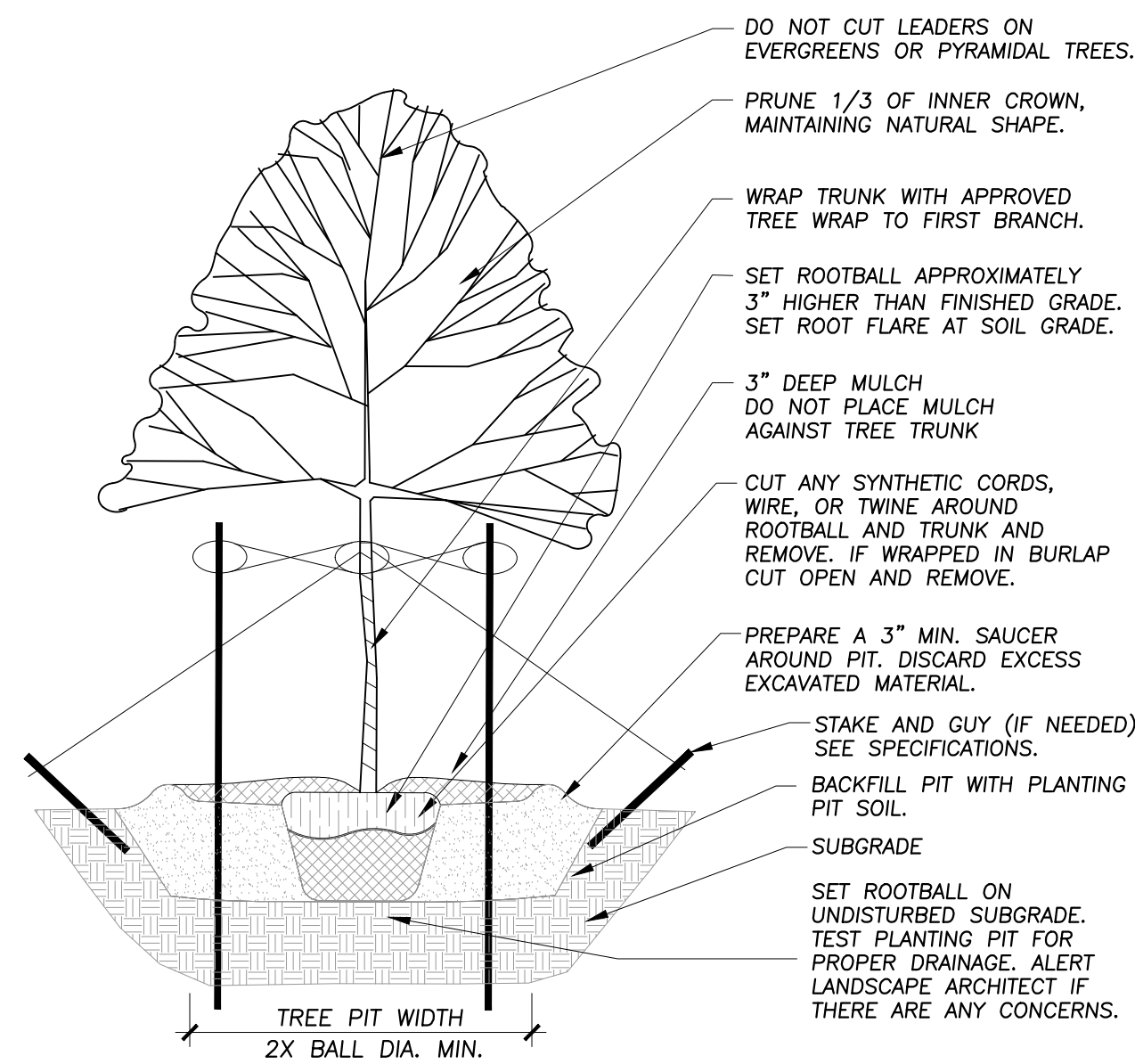
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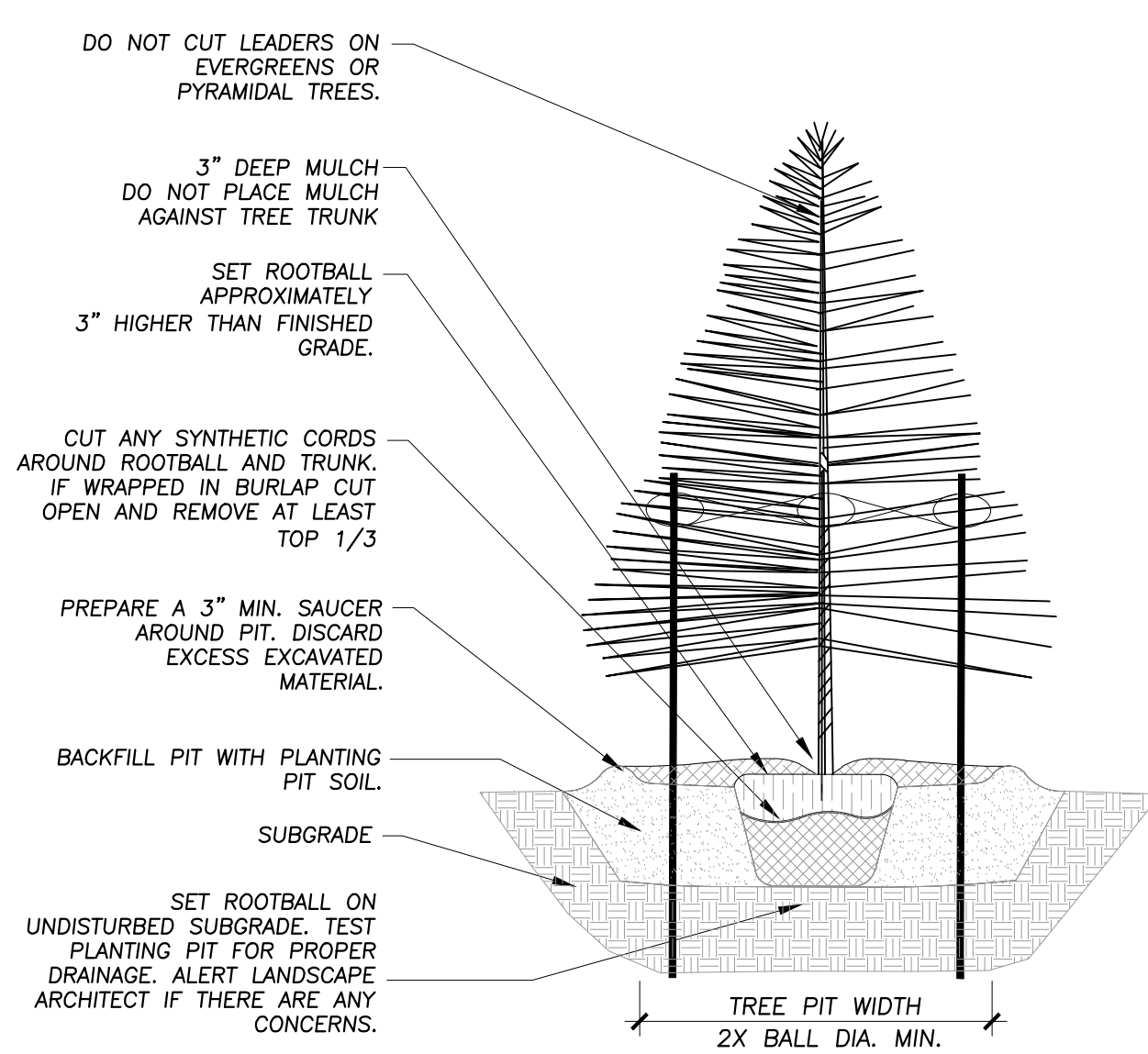
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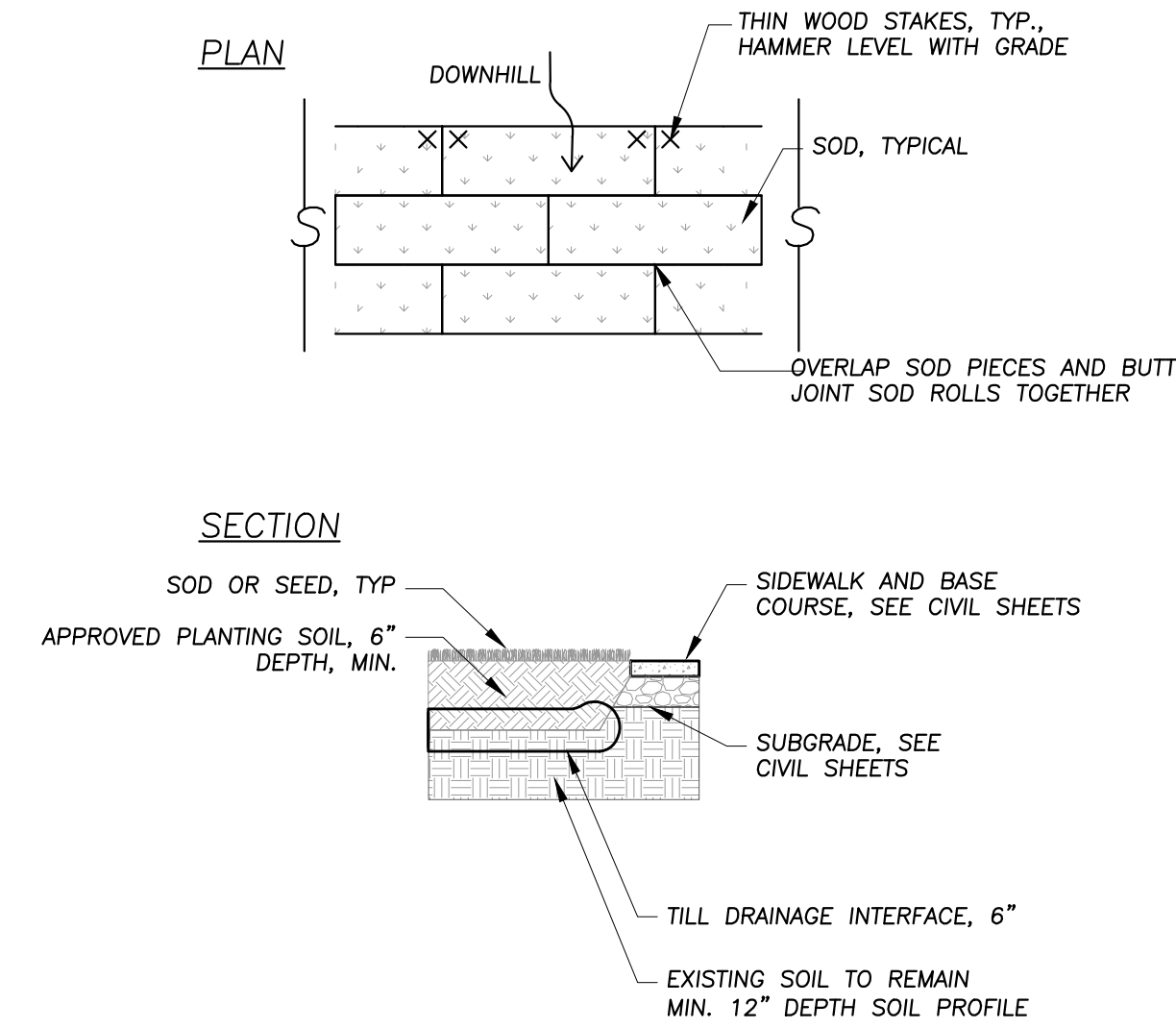
1 TREE PROTECTION DETAIL
Not To Scale 329383-01



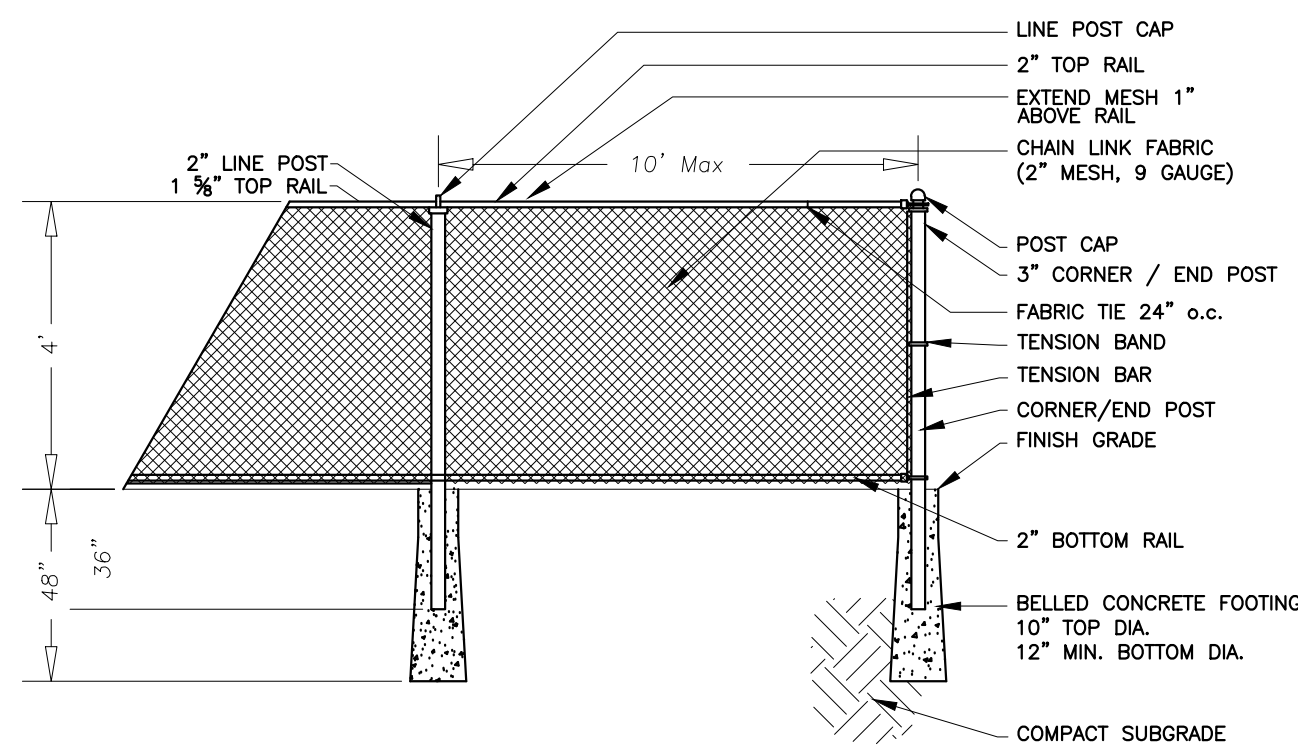
2 TREE PLANTING DETAIL
Not To Scale 329343-01



3 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE 329343-02



4 SOD AND SEED DETAIL
Not To Scale 329301-12



5 4' HIGH CHAIN LINK FENCE
Not To Scale 32 3113-11



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Design By: JA	Approved By: KC	Date: 01/31/25

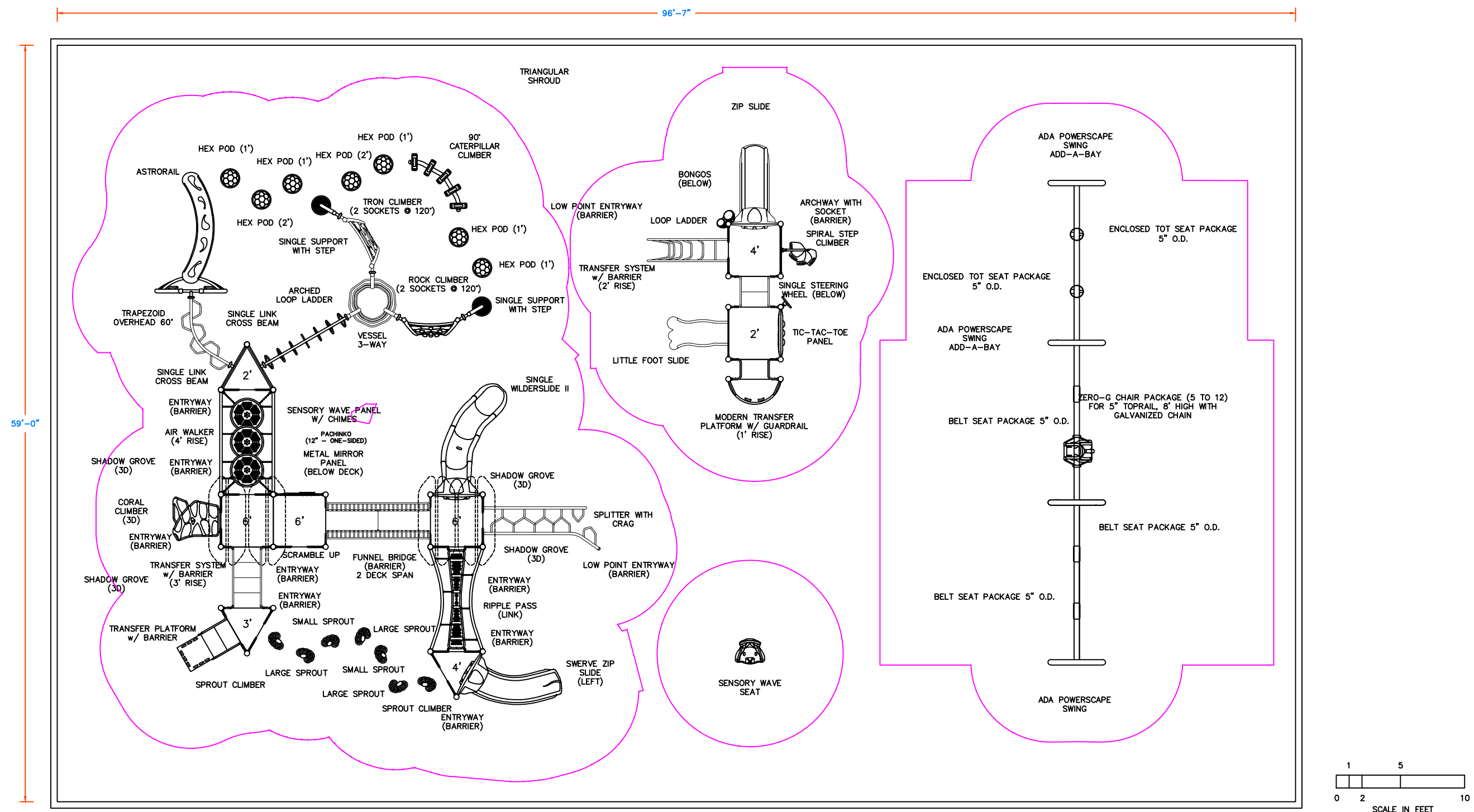
Sheet Title:

**LANDSCAPE
DETAILS**

Sheet No:

L2.0

NOT FOR CONSTRUCTION



HEPD Sycamore Option 1

Hoffman Estates, IL
Representative
Cunningham Recreation

This play equipment is recommended for children ages 5-12

Minimum Area Required:

Scale: 1" = 5'-0"

This drawing can be scaled only when in an 11" x 17" format

IMPORTANT: Soft resilient surfacing should be placed in the use zones of all equipment, as specified for each type of equipment, and at depths to meet the critical fall heights as specified by the U.S. consumer Product Safety Commission, ASTM standard F 1487 and Canadian Standard CAN/CSA-Z-614

Drawn By:
CV

Date:
9.16.2024

Drawing Name:
172052-01-01

HEPD Sycamore Option 1 Hoffman Estates, Illinois

Design • Build • PLAY!



