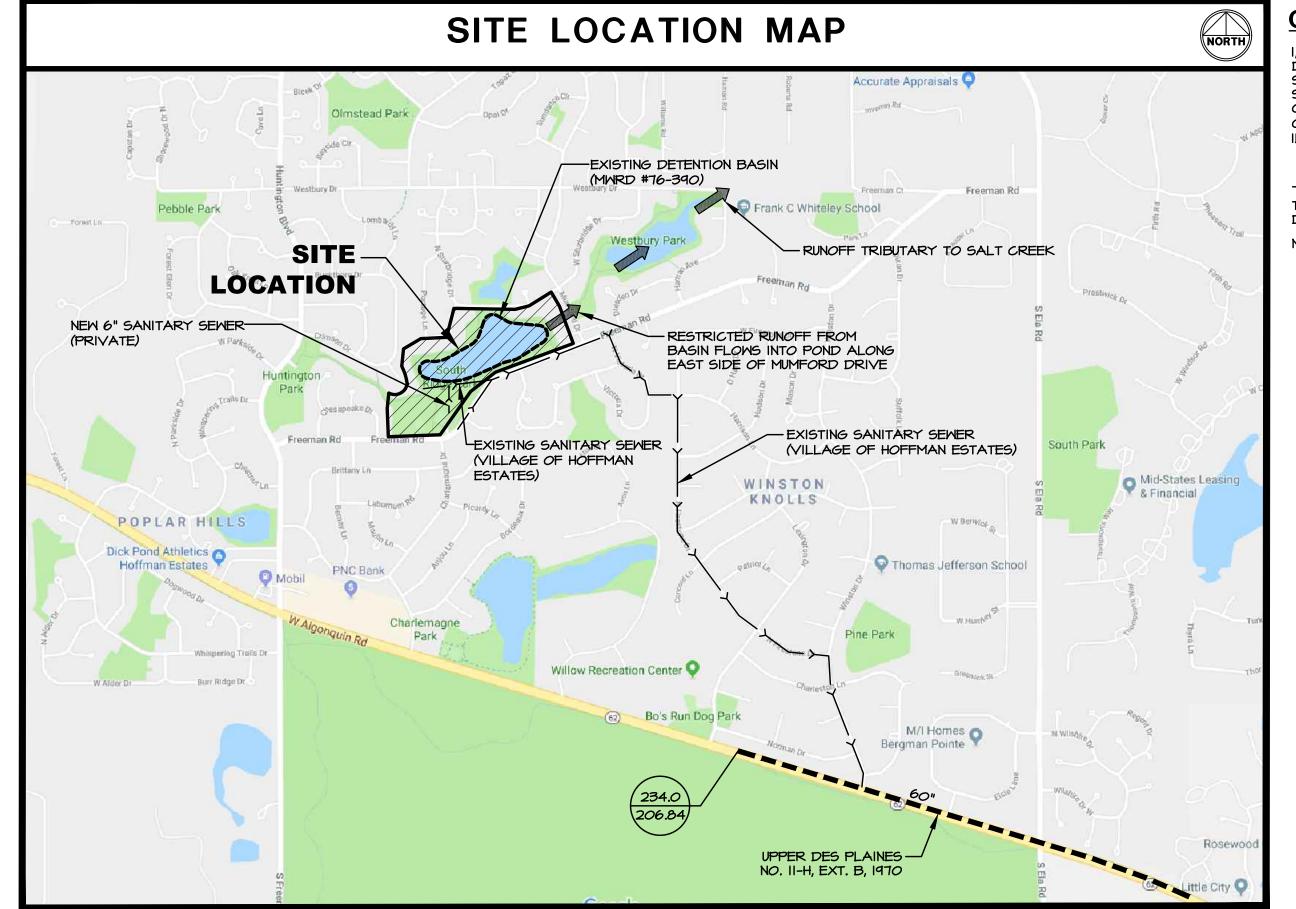
SOUTH RIDGE COMMUNITY PARK (BID SET) ENHANCEMENT PLAN 2019 1450 FREEMAN ROAD HOFFMAN ESTATES, IL 60192

CIVIL DRAWING INDEX						
SHEET DESCRIPTION						
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C-4.0 - C-4.4	SITE DEVELOPMENT PLAN	2-21-20				
C-4.5 - C-4.8	SITE DEVELOPMENT DETAILS	2-21-20				
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C-6.0 - C-6.4	SITE UTILITY PLAN	2-21-20				
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A-01 - A-02	ARCHITECTURAL PLANS, DETAILS AND SECTIONS	1-23-20				
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M1.1	MECHANICAL PLAN	2-21-20				
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1	SPLASH PAD LAYOUT	2-17-20				
1-4	PLAT OF SURVEY (PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC.)	6-16-09				



SCALE I"=1000'

SECTION 19 TOWNSHIP 44N RANGE 10E

LEGEND SANITARY SEWER STORM SEWER COMBINED SEWER

M.W.R.D. SEWERS

MAP DATA (2019 6006LE

1(800)892-0123 OPERATES 24 HOURS A DAY 365 DAYS A YEAR 1(800)892-0123 48 HOURS BEFORE

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

NOTE: BEING THAT THIS PROJECT IS PERMITTED UNDER THE NEW WATERSHED MANAGEMENT ORDINANCE (WMO), THE MWRD REQUIRES 48 HOURS OF ADVANCE NOTIFICATION PRIOR TO ANY GROUND DISTURBANCE. THE MMRD WILL BE INSPECTING FOR APPLICABLE EROSION CONTROL AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING, INLET PROTECTION, CONCRETE WASH, ETC., FOLLOWED BY SANITARY SEWER AND VOLUME CONTROL INSTALLATION INSPECTIONS. PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.

2/21/20 FOR BID

DRAWN: PS 1911354C

T-1.0

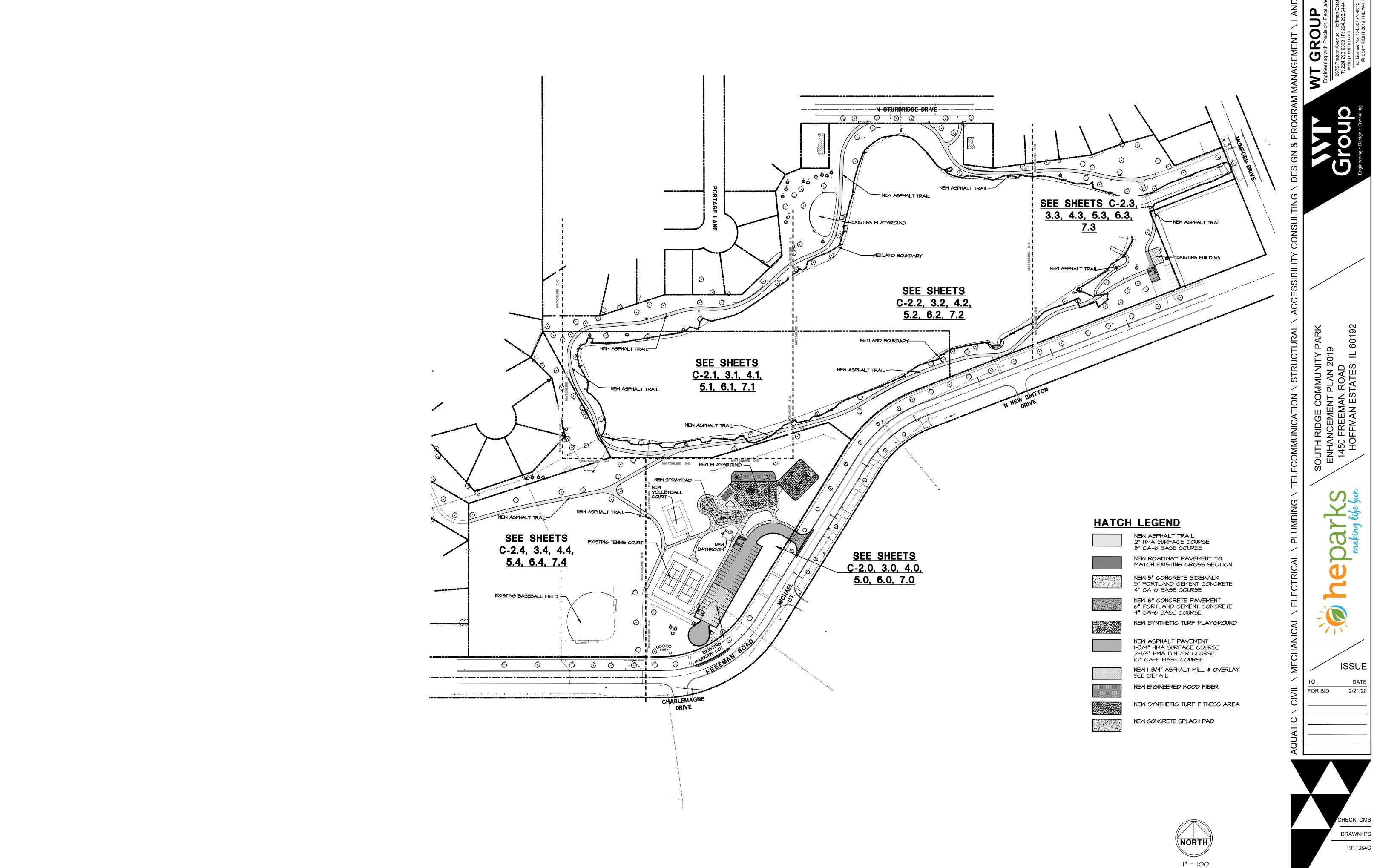
CIVIL ENGINEERING STATEMENT AND SEAL TODD ABRAMS - ILLINOIS P.E. # 062-061600 DRAINAGE CERTIFICATE: TOO FN 44 DATED THIS DAY OF 062-061600 EXP. DATE 11/30/21 DESIGN ENGINEER- TODD ABRAMS, P.E. CALL JULIE TOLL FREE

ELEVATION = 840.10

SITE BENCHMARK - MUELLER BOLT, TOP FLANGE OF HYDRANT, IN FRONT OF

1285 FREEMAN ROAD.

BENCHMARK:

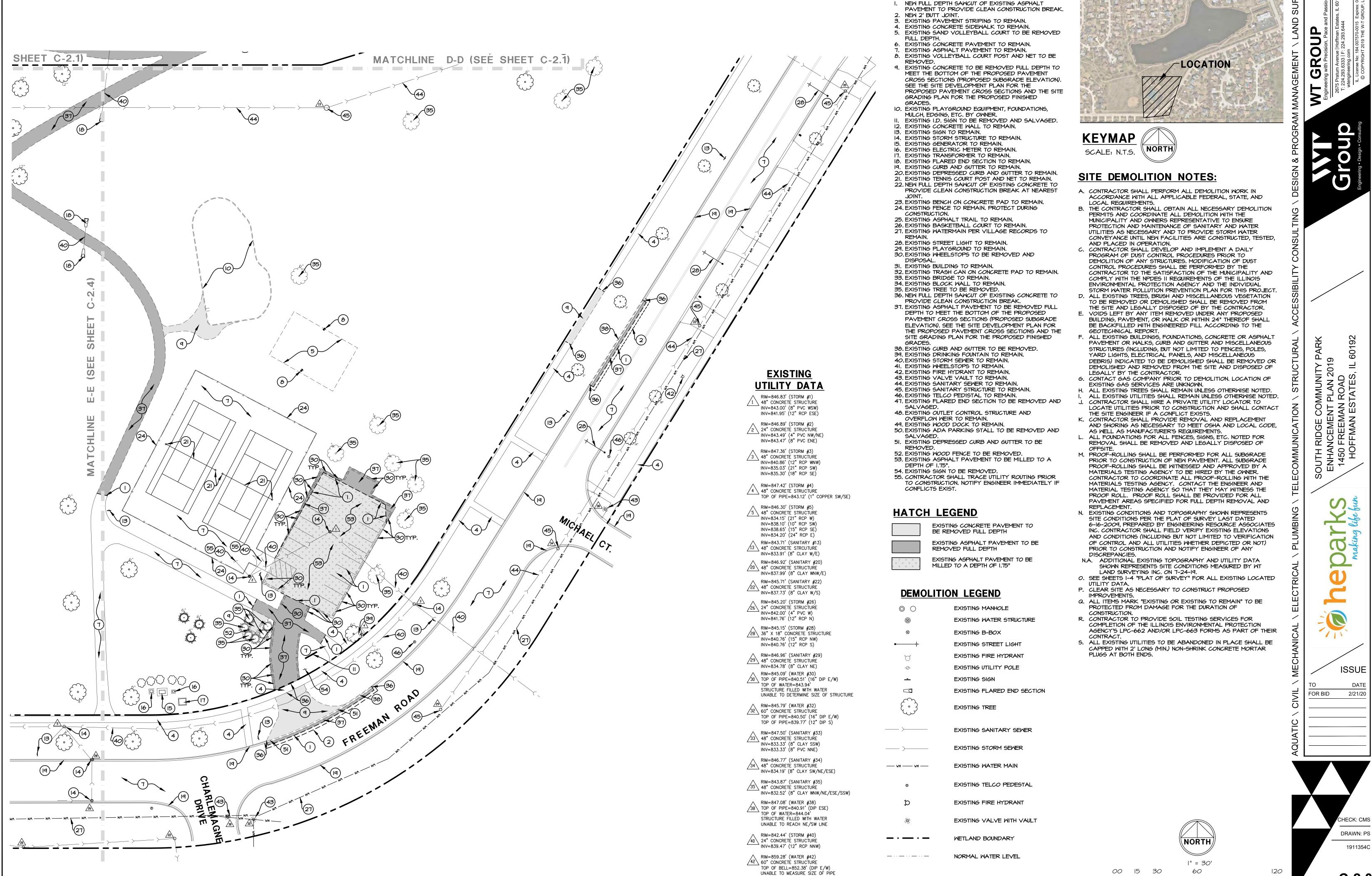


C-1.0
OVERALL SITE PLAN

400

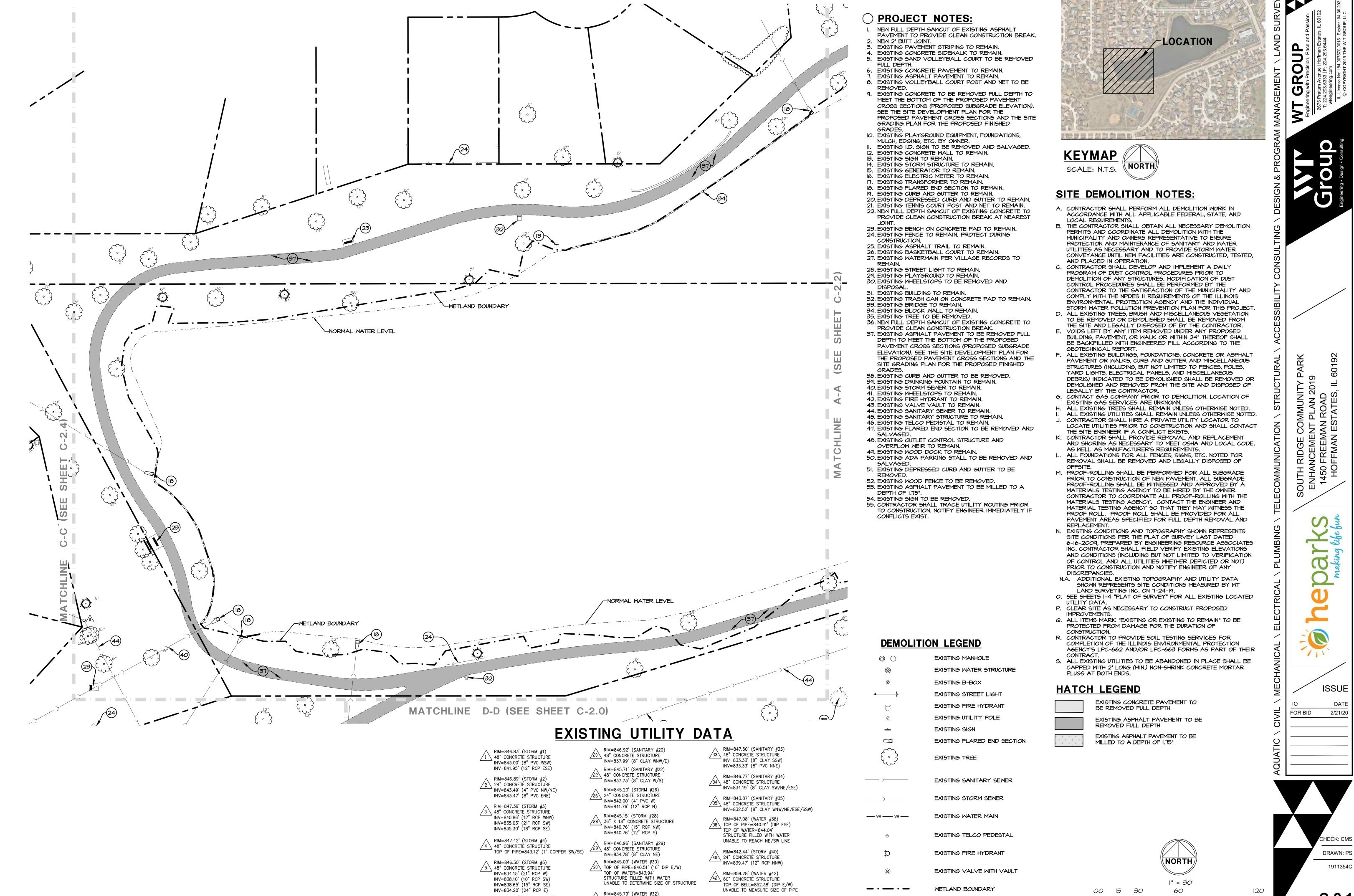
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PROJECT NOTES:

C-2.0 SITE DEMOLITION PLAN



RIM=843.71' (SANITARY #13)

NV=833.91' (8" CLAY W/E)

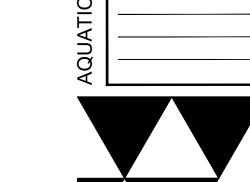
\ 48" CONCRETE STRCUTURE

32\ 60" CONCRETE STRUCTURE

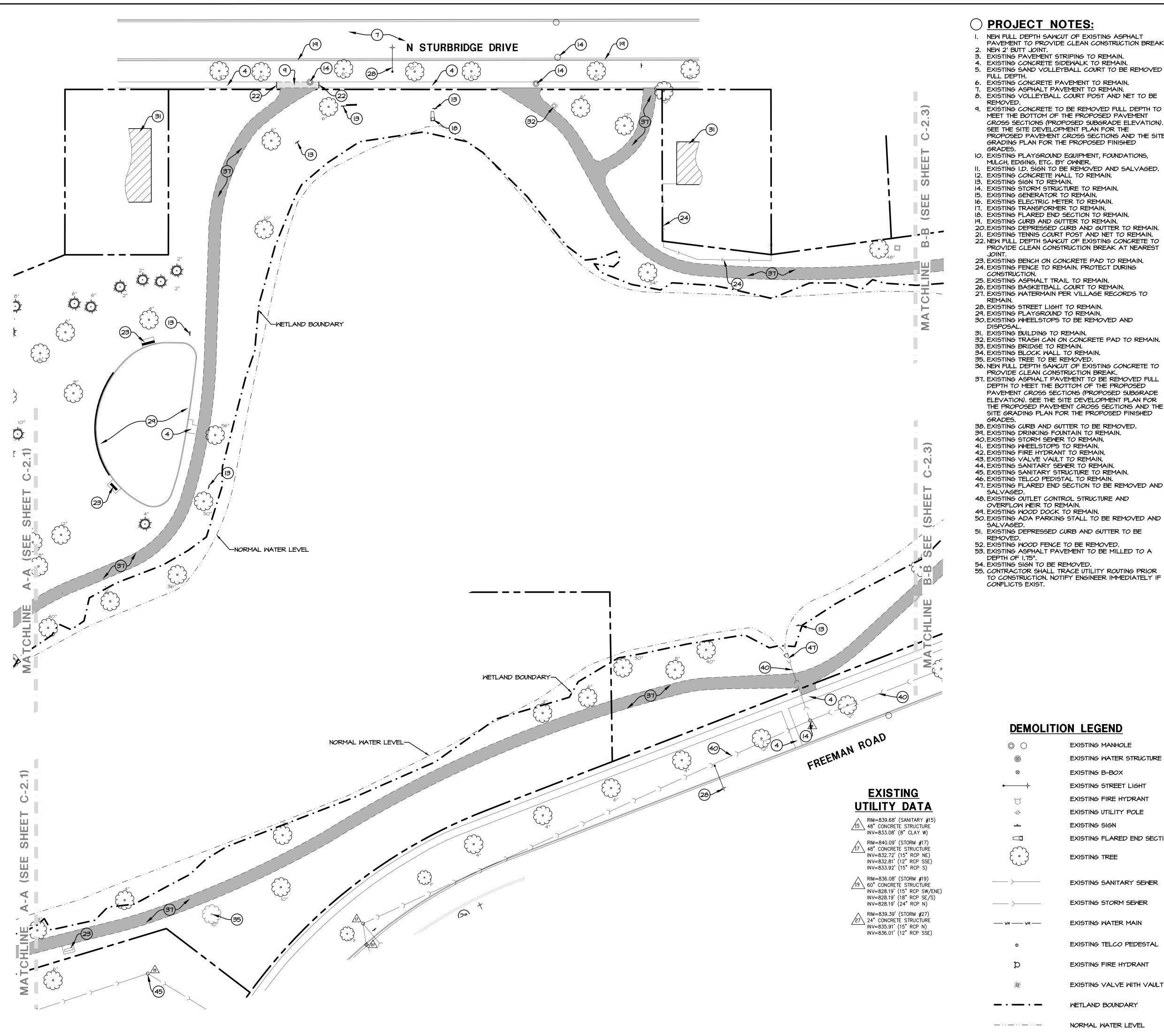
TOP OF PIPE=840.50' (16" DIP E/W)

TOP OF PIPE=839.77' (12" DIP S)

NORMAL WATER LEVEL



C-2.1 SITE DEMOLITION PLAN



PROJECT NOTES:

- NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- NEW 2' BUTT JOINT. EXISTING PAVEMENT STRIPING TO REMAIN.
- 4. EXISTING CONCRETE SIDEWALK TO REMAIN. 5. EXISTING SAND VOLLEYBALL COURT TO BE REMOVED
- 6. EXISTING CONCRETE PAVEMENT TO REMAIN.
- 7. EXISTING ASPHALT PAVEMENT TO REMAIN. 8. EXISTING VOLLEYBALL COURT POST AND NET TO BE
- 9. EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED
- IO. EXISTING PLAYGROUND EQUIPMENT, FOUNDATIONS,
- MULCH, EDGING, ETC. BY OWNER. II. EXISTING I.D. SIGN TO BE REMOVED AND SALVAGED.
- 12. EXISTING CONCRETE WALL TO REMAIN.
- 13. EXISTING SIGN TO REMAIN. 14. EXISTING STORM STRUCTURE TO REMAIN.
- 15. EXISTING GENERATOR TO REMAIN.
- 16. EXISTING ELECTRIC METER TO REMAIN. 17. EXISTING TRANSFORMER TO REMAIN.
- 18. EXISTING FLARED END SECTION TO REMAIN.
- 19. EXISTING CURB AND GUTTER TO REMAIN. 20. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN.
- 23. EXISTING BENCH ON CONCRETE PAD TO REMAIN.
- 24. EXISTING FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 26.EXISTING BASKETBALL COURT TO REMAIN. 27. EXISTING WATERMAIN PER VILLAGE RECORDS TO
- 28. EXISTING STREET LIGHT TO REMAIN. 29. EXISTING PLAYGROUND TO REMAIN.
- 30. EXISTING WHEELSTOPS TO BE REMOVED AND
- 31. EXISTING BUILDING TO REMAIN.
- 32. EXISTING TRASH CAN ON CONCRETE PAD TO REMAIN.
- 33. EXISTING BRIDGE TO REMAIN. 34. EXISTING BLOCK WALL TO REMAIN
- 35. EXISTING TREE TO BE REMOVED. 36. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO
- PROVIDE CLEAN CONSTRUCTION BREAK. 37. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE
- ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED
- 39. EXISTING DRINKING FOUNTAIN TO REMAIN. 40. EXISTING STORM SEWER TO REMAIN.
- 41. EXISTING WHEELSTOPS TO REMAIN.
- 42. EXISTING FIRE HYDRANT TO REMAIN. 43. EXISTING VALVE VAULT TO REMAIN.
- 44. EXISTING SANITARY SEWER TO REMAIN.
- 45. EXISTING SANITARY STRUCTURE TO REMAIN. 46. EXISTING TELCO PEDISTAL TO REMAIN.
- 47. EXISTING FLARED END SECTION TO BE REMOVED AND SALVAGED.
- 48. EXISTING OUTLET CONTROL STRUCTURE AND OVERFLOW WEIR TO REMAIN.
- 50. EXISTING ADA PARKING STALL TO BE REMOVED AND
- 51. EXISTING DEPRESSED CURB AND GUTTER TO BE
- 52. EXISTING WOOD FENCE TO BE REMOVED. 53. EXISTING ASPHALT PAVEMENT TO BE MILLED TO A
- DEPTH OF 1.75".
- 54. EXISTING SIGN TO BE REMOVED. 55. CONTRACTOR SHALL TRACE UTILITY ROUTING PRIOR

DEMOLITION LEGEND

© ()	EXISTING MANHOLE
®	EXISTING WATER STRUCTURE
\otimes	EXISTING B-BOX
•	EXISTING STREET LIGHT
$\overleftarrow{\circ}$	EXISTING FIRE HYDRANT
-⊘-	EXISTING UTILITY POLE
<u> </u>	EXISTING SIGN
	EXISTING FLARED END SECTION
	EXISTING TREE

EXISTING SANITARY SEWER EXISTING STORM SEWER

EXISTING TELCO PEDESTAL

EXISTING WATER MAIN

EXISTING FIRE HYDRANT

METLAND BOUNDARY

NORMAL WATER LEVEL

EXISTING VALVE WITH VAULT



UNITY P.

ENF 14

FOR BID

2/21/20



SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR. E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE

D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION

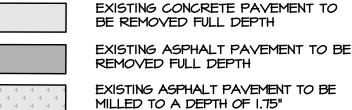
- GEOTECHNICAL REPORT. F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF
- LEGALLY BY THE CONTRACTOR. G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF
- EXISTING GAS SERVICES ARE UNKNOWN. H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED. J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT
- THE SITE ENGINEER IF A CONFLICT EXISTS. K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- .. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE PLAT OF SURVEY LAST DATED 6-16-2009, PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- N.A. ADDITIONAL EXISTING TOPOGRAPHY AND UTILITY DATA SHOWN REPRESENTS SITE CONDITIONS MEASURED BY WT LAND SURVEYING INC. ON 7-24-19.
- O. SEE SHEETS 1-4 "PLAT OF SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION
- CONTRACT. S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR

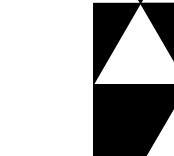
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HATCH LEGEND

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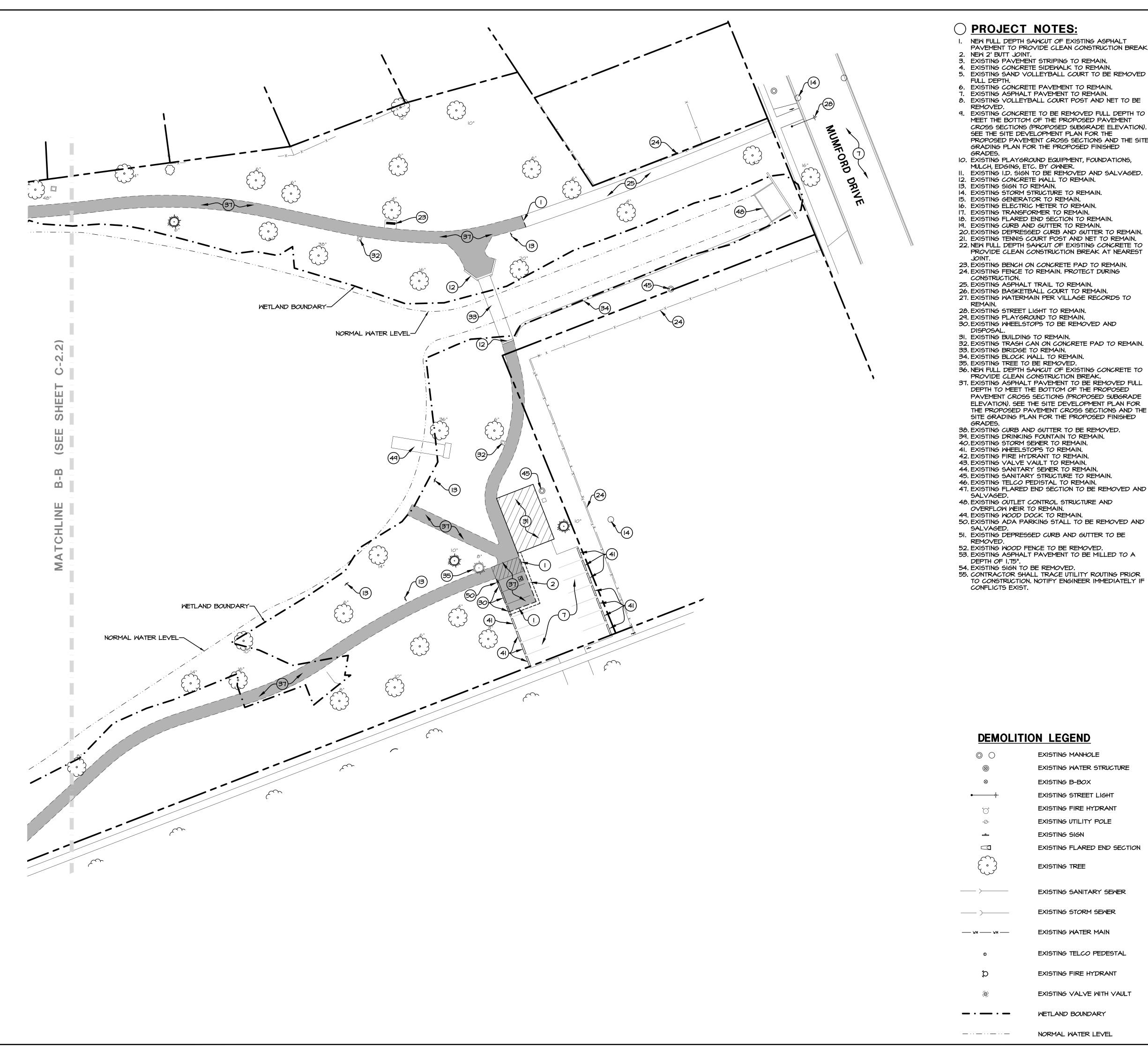
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C-2.2

DRAWN: PS

1911354C

SITE DEMOLITION PLAN



PROJECT NOTES:

- NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- 3. EXISTING PAVEMENT STRIPING TO REMAIN. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 5. EXISTING SAND VOLLEYBALL COURT TO BE REMOVED FULL DEPTH.
- 6. EXISTING CONCRETE PAVEMENT TO REMAIN. EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING VOLLEYBALL COURT POST AND NET TO BE REMOVED.
- 9. EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED
- IO. EXISTING PLAYGROUND EQUIPMENT, FOUNDATIONS,
- MULCH, EDGING, ETC. BY OWNER. II. EXISTING I.D. SIGN TO BE REMOVED AND SALVAGED.
- 12. EXISTING CONCRETE WALL TO REMAIN. 13. EXISTING SIGN TO REMAIN.
- 14. EXISTING STORM STRUCTURE TO REMAIN. 15. EXISTING GENERATOR TO REMAIN.
- 16. EXISTING ELECTRIC METER TO REMAIN. 17. EXISTING TRANSFORMER TO REMAIN.
- 18. EXISTING FLARED END SECTION TO REMAIN. 19. EXISTING CURB AND GUTTER TO REMAIN. 20. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN.
- 21. EXISTING TENNIS COURT POST AND NET TO REMAIN. 22. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK AT NEAREST
- 23. EXISTING BENCH ON CONCRETE PAD TO REMAIN. 24. EXISTING FENCE TO REMAIN. PROTECT DURING
- CONSTRUCTION. 25. EXISTING ASPHALT TRAIL TO REMAIN.
- 26. EXISTING BASKETBALL COURT TO REMAIN. 27. EXISTING WATERMAIN PER VILLAGE RECORDS TO
- 28. EXISTING STREET LIGHT TO REMAIN.
- 29. EXISTING PLAYGROUND TO REMAIN. 30. EXISTING WHEELSTOPS TO BE REMOVED AND
- 31. EXISTING BUILDING TO REMAIN.
- 32. EXISTING TRASH CAN ON CONCRETE PAD TO REMAIN. 33. EXISTING BRIDGE TO REMAIN.
- 34. EXISTING BLOCK WALL TO REMAIN.
- 36. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. 37. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL
- DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED
- 38. EXISTING CURB AND GUTTER TO BE REMOVED.
- 40. EXISTING STORM SEWER TO REMAIN.
- 41. EXISTING WHEELSTOPS TO REMAIN.
- 42. EXISTING FIRE HYDRANT TO REMAIN. 43. EXISTING VALVE VAULT TO REMAIN.
- 44. EXISTING SANITARY SEWER TO REMAIN. 45. EXISTING SANITARY STRUCTURE TO REMAIN.
- 46. EXISTING TELCO PEDISTAL TO REMAIN. 47. EXISTING FLARED END SECTION TO BE REMOVED AND
- SALVAGED. 48. EXISTING OUTLET CONTROL STRUCTURE AND
- OVERFLOW WEIR TO REMAIN. 49. EXISTING WOOD DOCK TO REMAIN.
- SALVAGED. 51. EXISTING DEPRESSED CURB AND GUTTER TO BE
- REMOVED.
- 53. EXISTING ASPHALT PAVEMENT TO BE MILLED TO A
- DEPTH OF 1.75".
- 54. EXISTING SIGN TO BE REMOVED. 55. CONTRACTOR SHALL TRACE UTILITY ROUTING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF

	EXISTING MANHOLE
®	EXISTING WATER STRUCTURE
\otimes	EXISTING B-BOX
-	EXISTING STREET LIGHT
$\stackrel{\boldsymbol{\leftarrow}}{\bigcirc}$	EXISTING FIRE HYDRANT
-⊘-	EXISTING UTILITY POLE
ھ	EXISTING SIGN
	EXISTING FLARED END SECTION
	EXISTING TREE

EXISTING STORM SEWER EXISTING WATER MAIN EXISTING TELCO PEDESTAL

EXISTING FIRE HYDRANT

WETLAND BOUNDARY

NORMAL WATER LEVEL

EXISTING VALVE WITH VAULT

EXISTING SANITARY SEWER

LOCATION

<u>о</u>



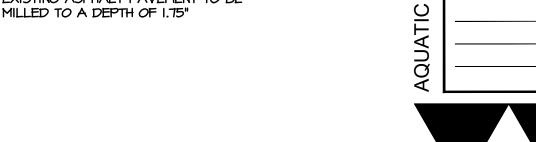
SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
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- TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR. E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE
- GEOTECHNICAL REPORT. . ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED. J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT
- THE SITE ENGINEER IF A CONFLICT EXISTS. K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE,
- AS WELL AS MANUFACTURER'S REQUIREMENTS. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR
- REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE PLAT OF SURVEY LAST DATED 6-16-2009, PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- N.A. ADDITIONAL EXISTING TOPOGRAPHY AND UTILITY DATA SHOWN REPRESENTS SITE CONDITIONS MEASURED BY WI LAND SURVEYING INC. ON 7-24-19.
- O. SEE SHEETS 1-4 "PLAT OF SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE
- PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION. R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR
- CONTRACT. S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

HATCH LEGEND

EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH

EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH EXISTING ASPHALT PAVEMENT TO BE





00 15 30 60

SITE DEMOLITION PLAN

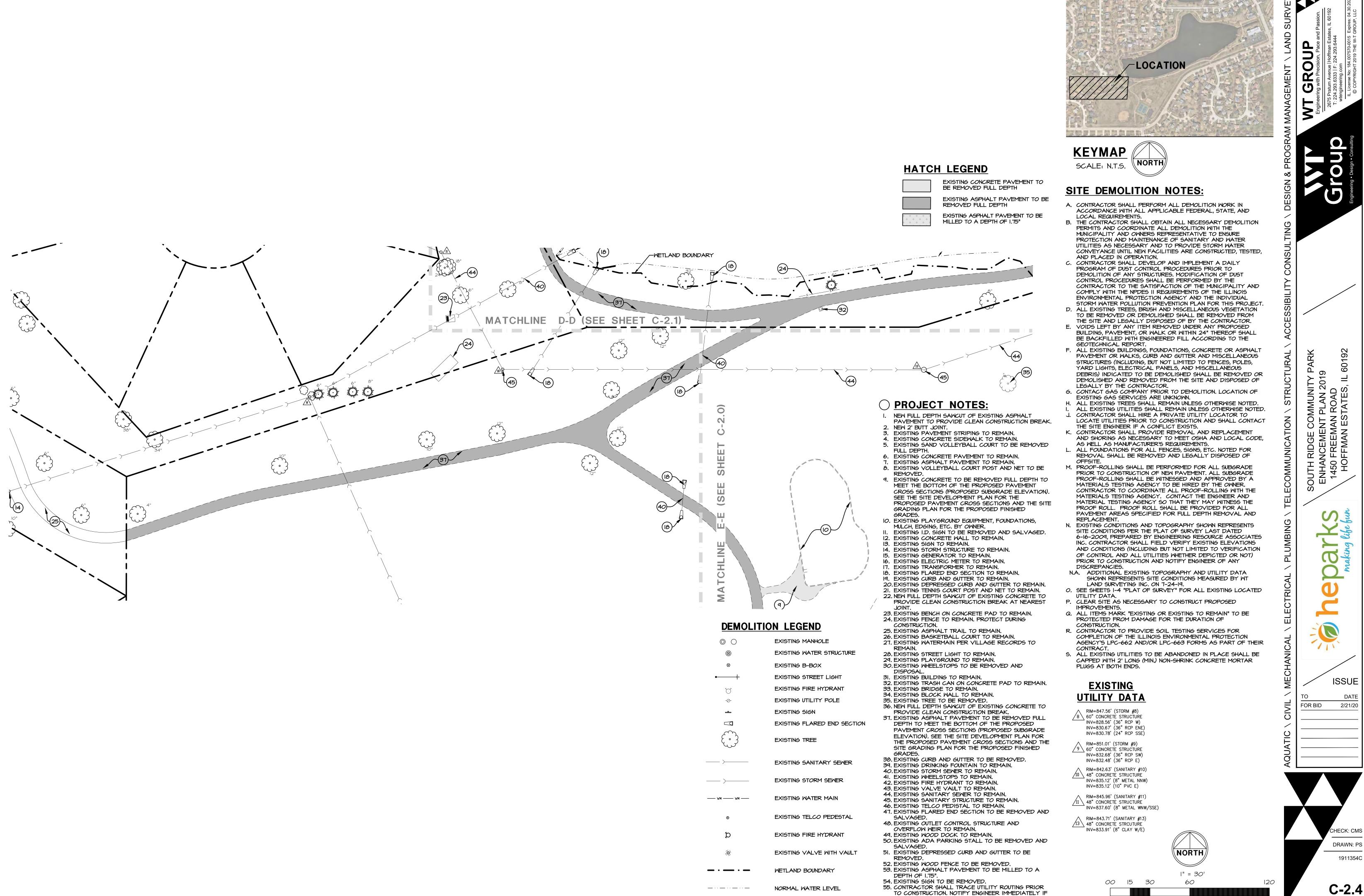
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FOR BID

2/21/20

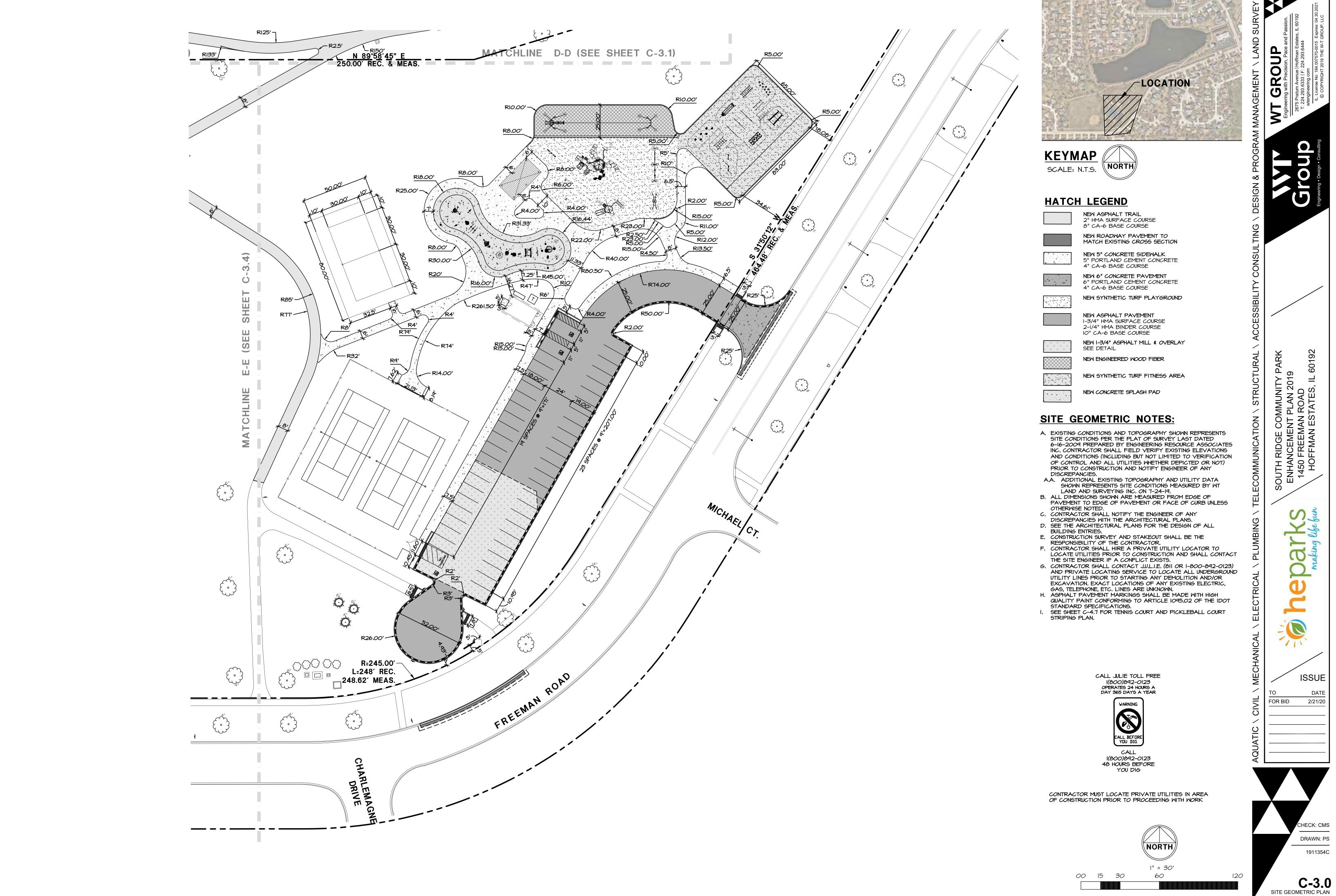
C-2.3



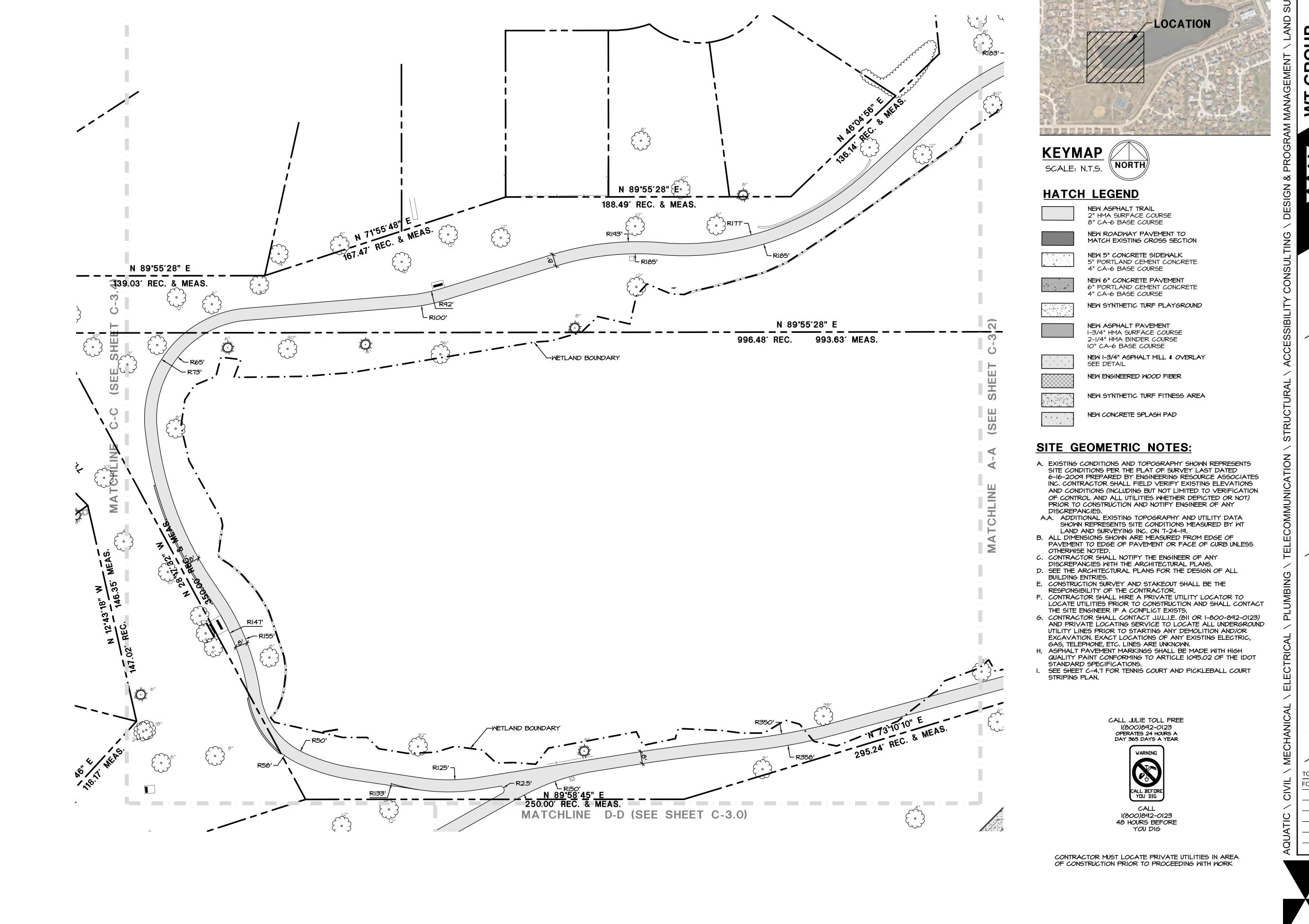
CONFLICTS EXIST.

HECK: CMS DRAWN: PS 1911354C

SITE DEMOLITION PLAN



CHECK: CMS DRAWN: PS 1911354C



GROUP

ring with Precision, Pace and Passion.

Pratum Avenue | Hoffman Estates, IL 60192
24.293.6333 | F: 224.293.6444

signineering.com

Groun

COMMUNITY PARK NT PLAN 2019 AN ROAD ESTATES II 60192

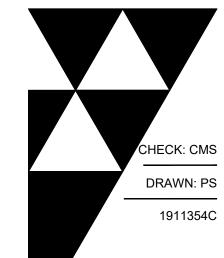
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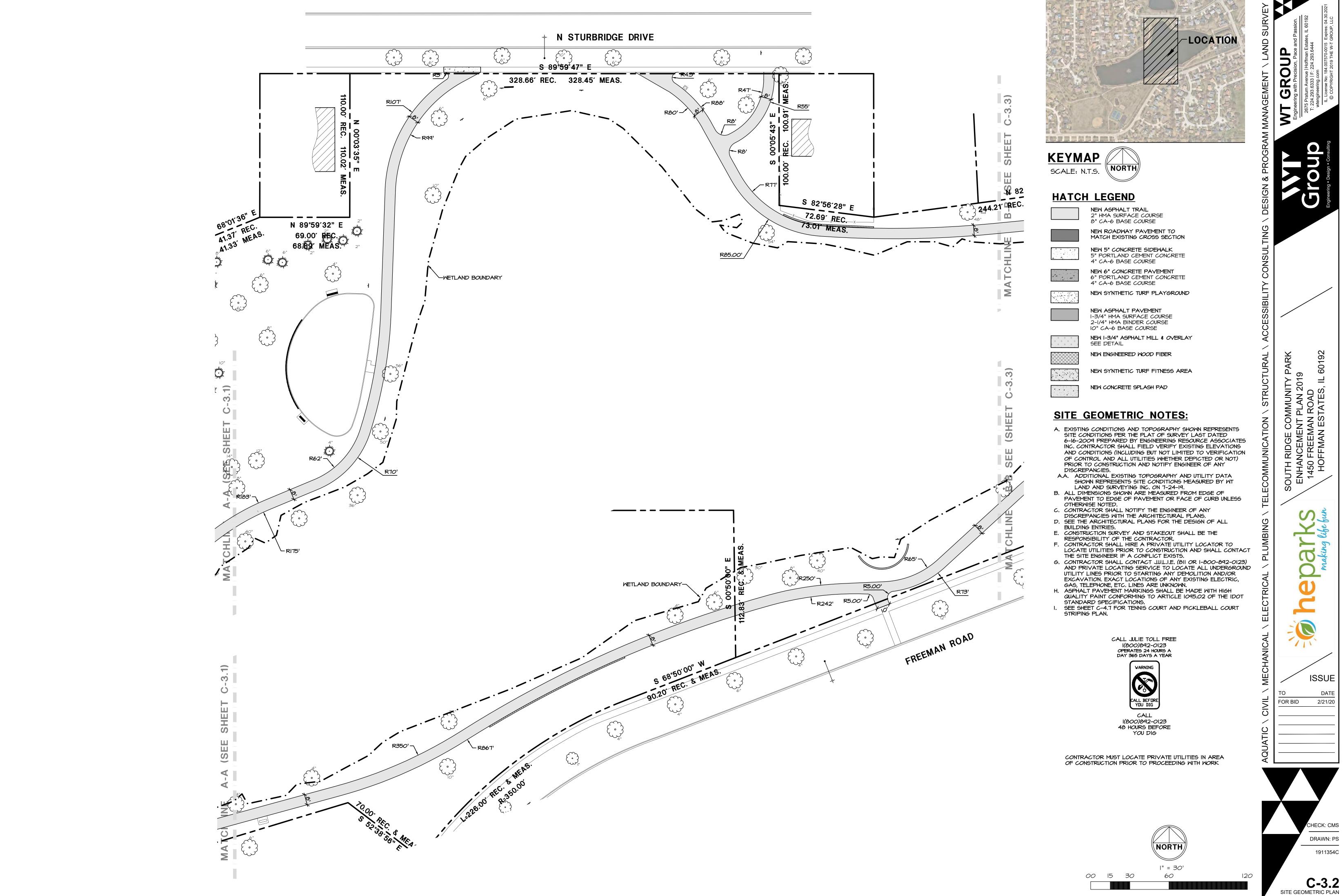
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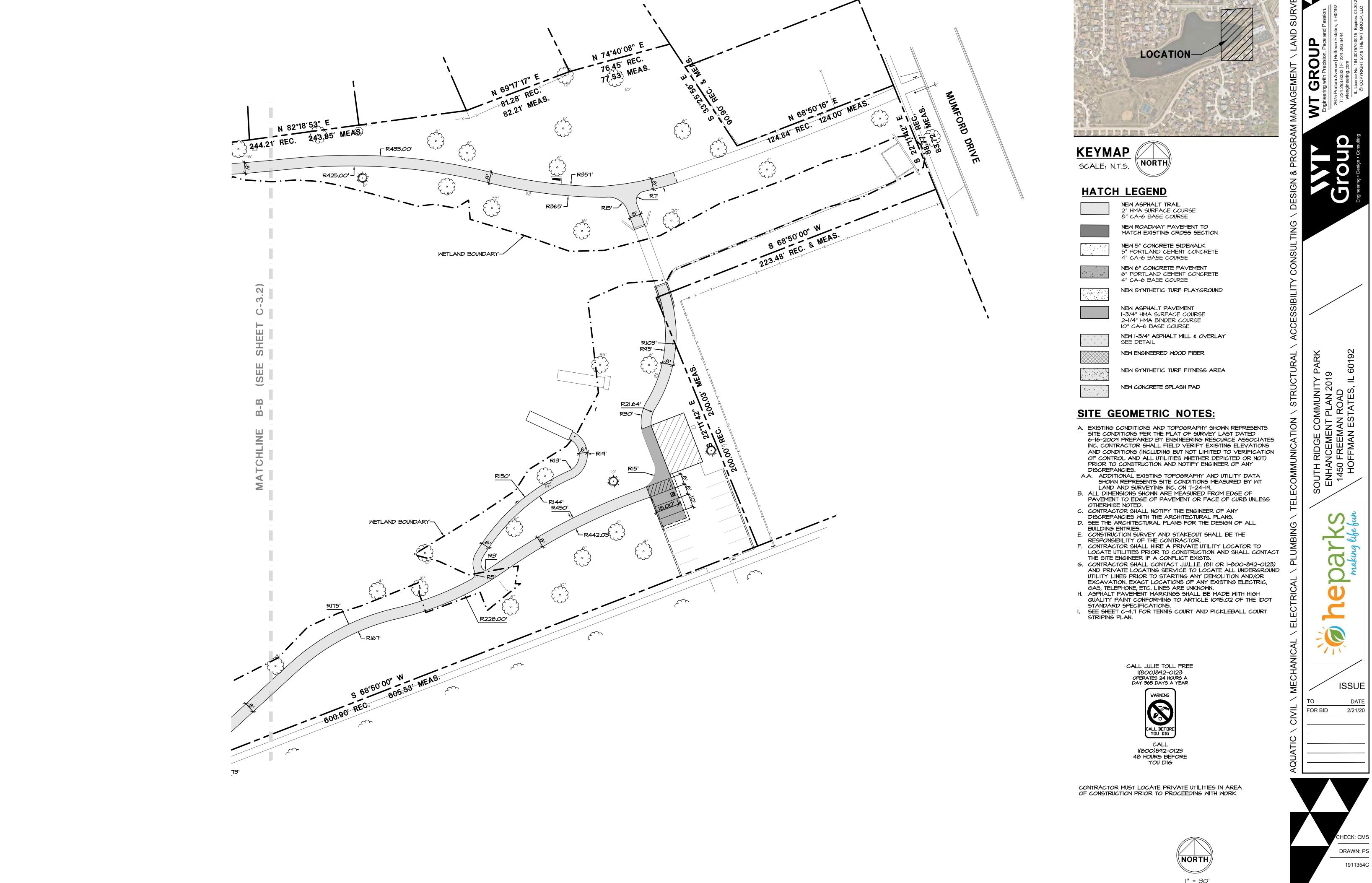


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C-3.1
SITE GEOMETRIC PLAN

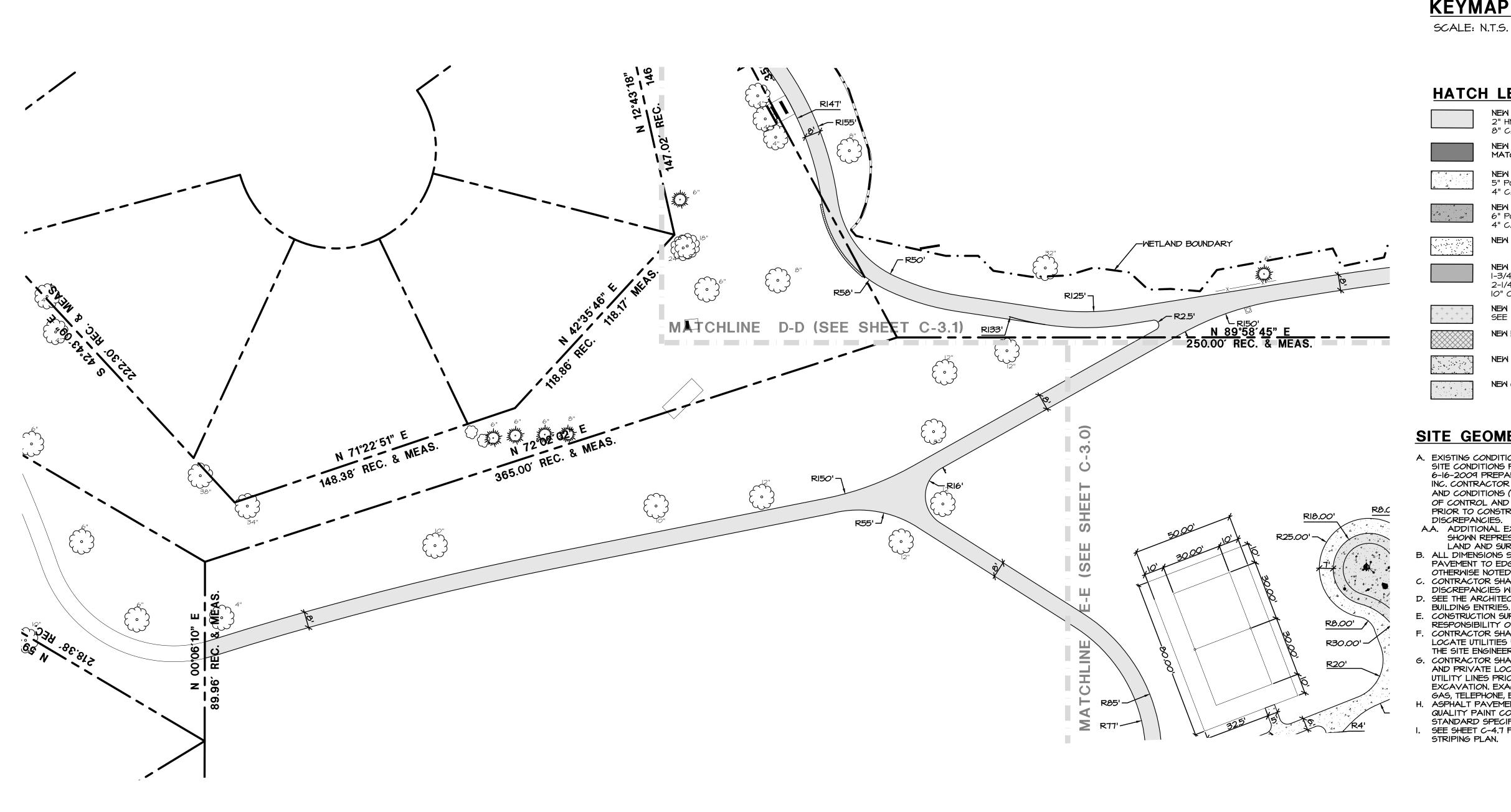




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C-3.3 SITE GEOMETRIC PLAN

120





KEYMAP SCALE: N.T.S.

HATCH LEGEND

NEW ASPHALT TRAIL 2" HMA SURFACE COURSE 8" CA-6 BASE COURSE NEW ROADWAY PAVEMENT TO MATCH EXISTING CROSS SECTION NEW 5" CONCRETE SIDEWALK 5" PORTLAND CEMENT CONCRETE 4" CA-6 BASE COURSE NEW 6" CONCRETE PAVEMENT 6" PORTLAND CEMENT CONCRETE 4" CA-6 BASE COURSE NEW SYNTHETIC TURF PLAYGROUND NEW ASPHALT PAVEMENT I-3/4" HMA SURFACE COURSE 2-1/4" HMA BINDER COURSE IO" CA-6 BASE COURSE NEW I-3/4" ASPHALT MILL & OVERLAY SEE DETAIL NEW ENGINEERED WOOD FIBER NEW SYNTHETIC TURF FITNESS AREA

SITE GEOMETRIC NOTES:

A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE PLAT OF SURVEY LAST DATED 6-16-2009 PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

NEW CONCRETE SPLASH PAD

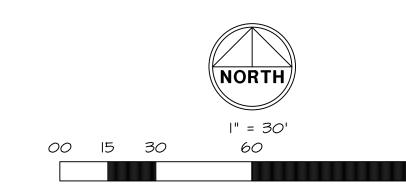
- A.A. ADDITIONAL EXISTING TOPOGRAPHY AND UTILITY DATA SHOWN REPRESENTS SITE CONDITIONS MEASURED BY WT
- LAND AND SURVEYING INC. ON 7-24-19. B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS
- OTHERWISE NOTED. C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS. G. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-892-0123)
- AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1095.02 OF THE IDOT STANDARD SPECIFICATIONS.

SEE SHEET C-4.7 FOR TENNIS COURT AND PICKLEBALL COURT STRIPING PLAN.



1(800)892-0123 48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK



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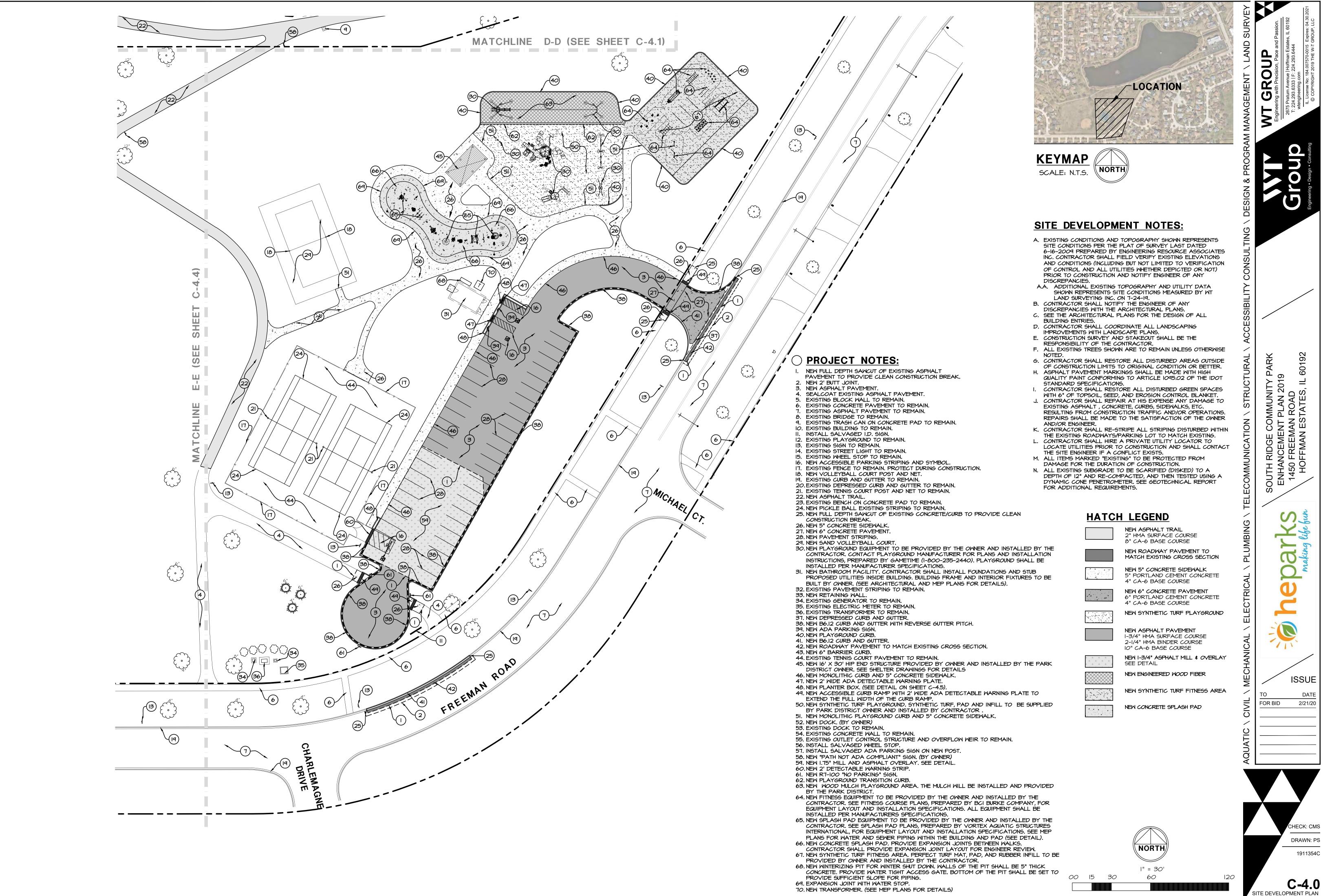
C-3.4 SITE GEOMETRIC PLAN

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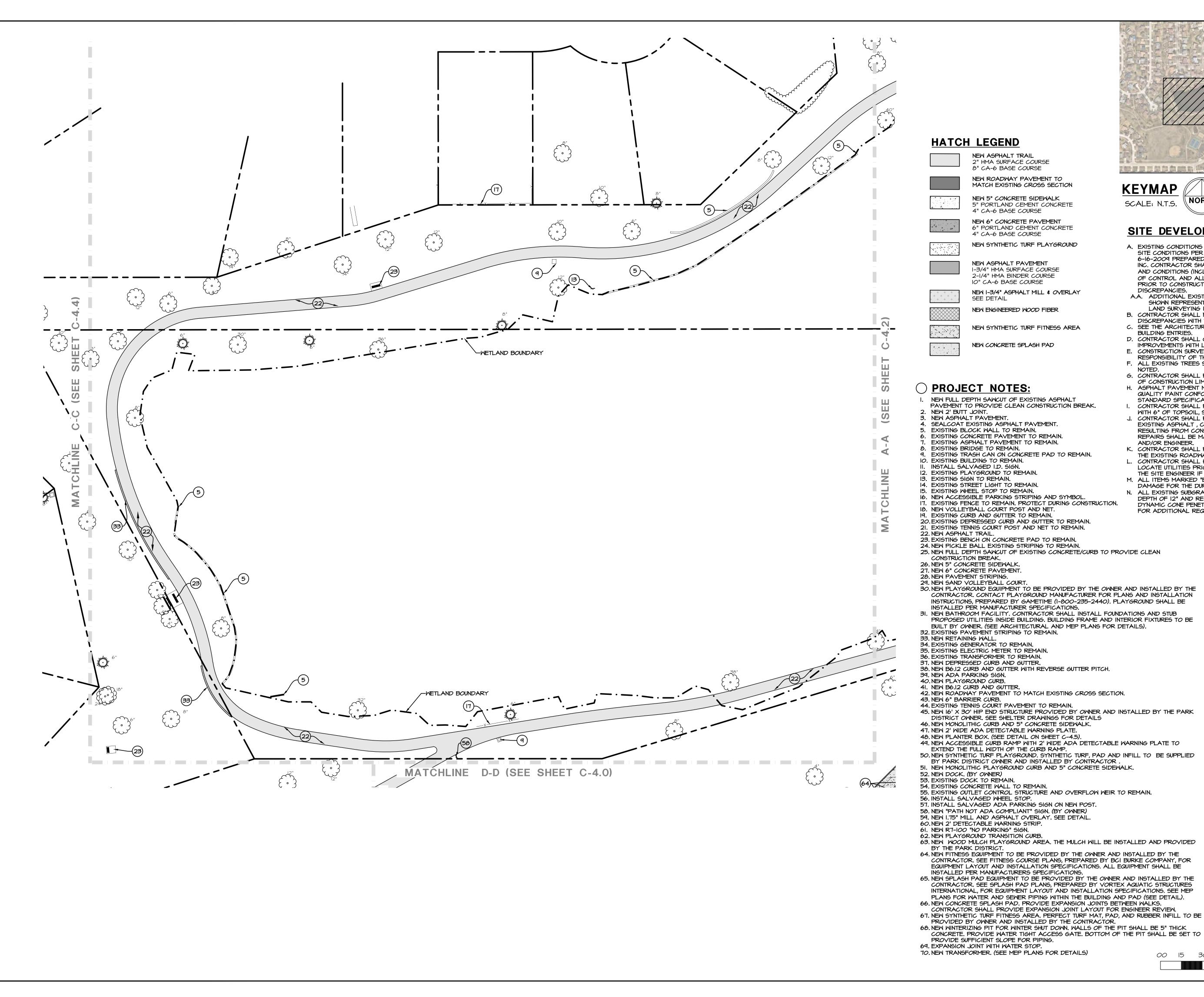
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SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE PLAT OF SURVEY LAST DATED 6-16-2009 PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- A.A. ADDITIONAL EXISTING TOPOGRAPHY AND UTILITY DATA SHOWN REPRESENTS SITE CONDITIONS MEASURED BY WIT LAND SURVEYING INC. ON 7-24-19.
- DISCREPANCIES WITH THE ARCHITECTURAL PLANS. C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE
- OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- STANDARD SPECIFICATIONS. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER
- AND/OR ENGINEER K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING. L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT

KEYMAP SCALE: N.T.S.

B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY

BUILDING ENTRIES.

IMPROVEMENTS WITH LANDSCAPE PLANS. E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1095.02 OF THE IDOT

LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT

THE SITE ENGINEER IF A CONFLICT EXISTS. M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.

FOR ADDITIONAL REQUIREMENTS.

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FOR BID 2/21/20

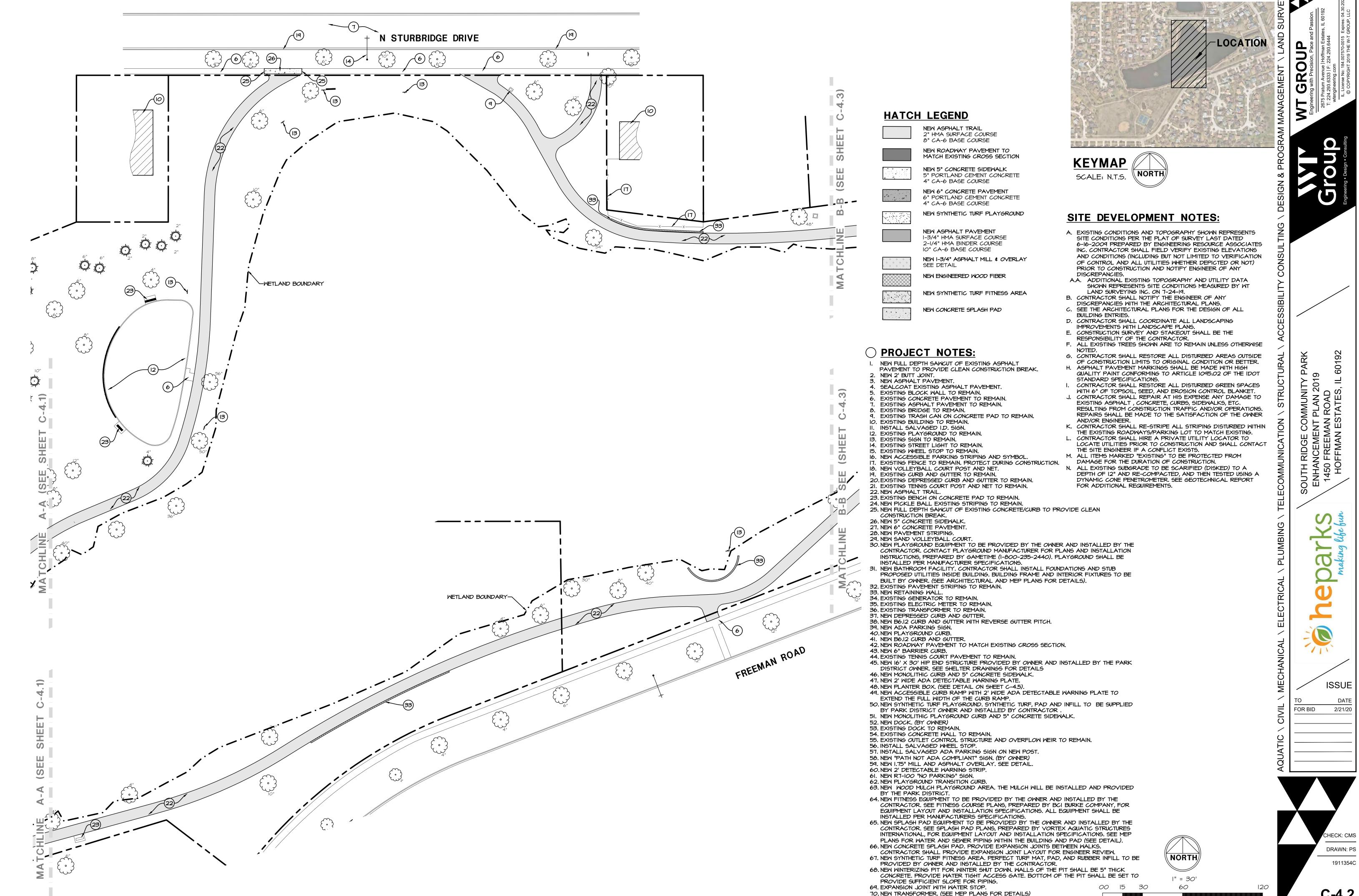
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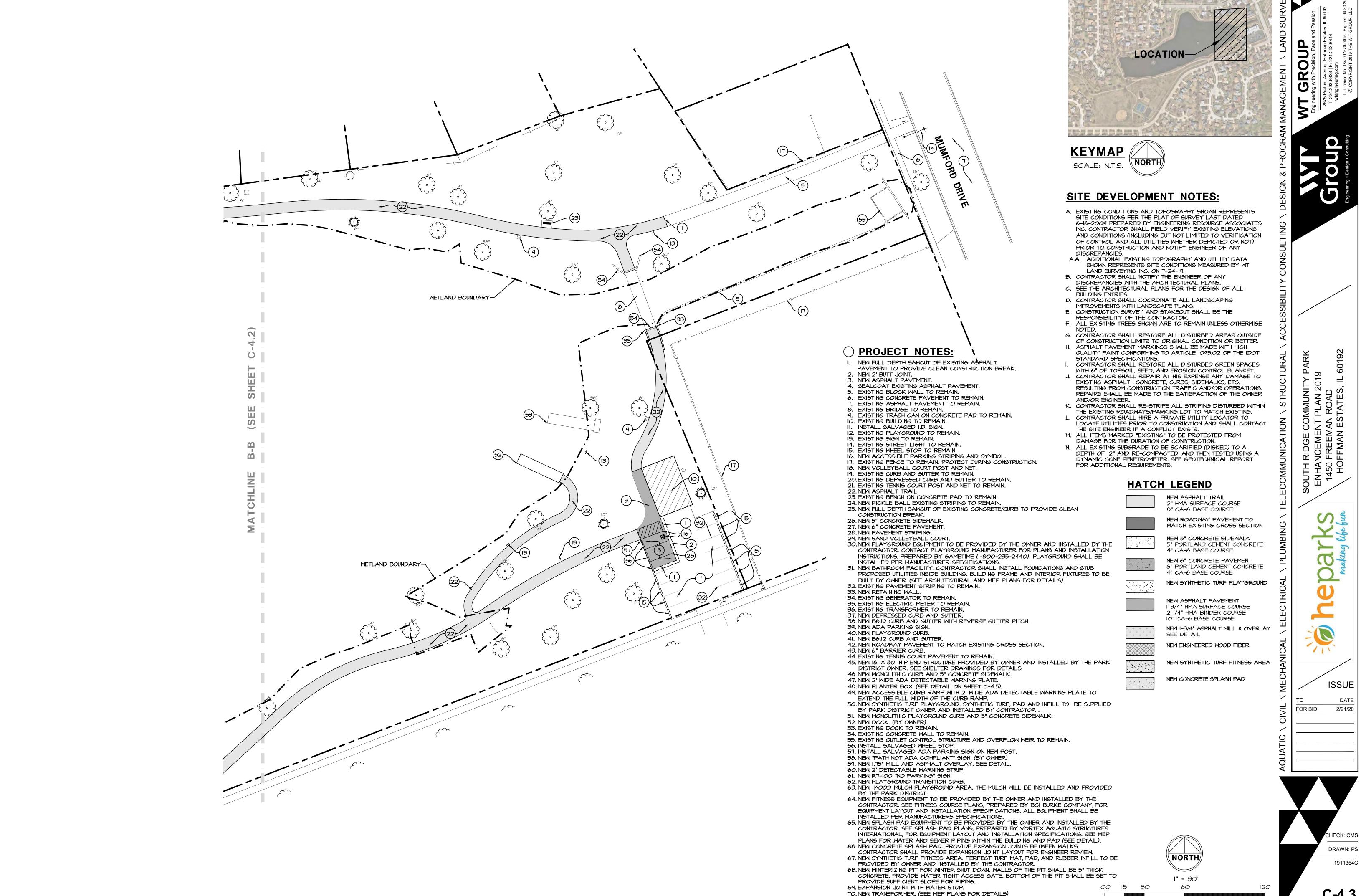
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SITE DEVELOPMENT PLAN

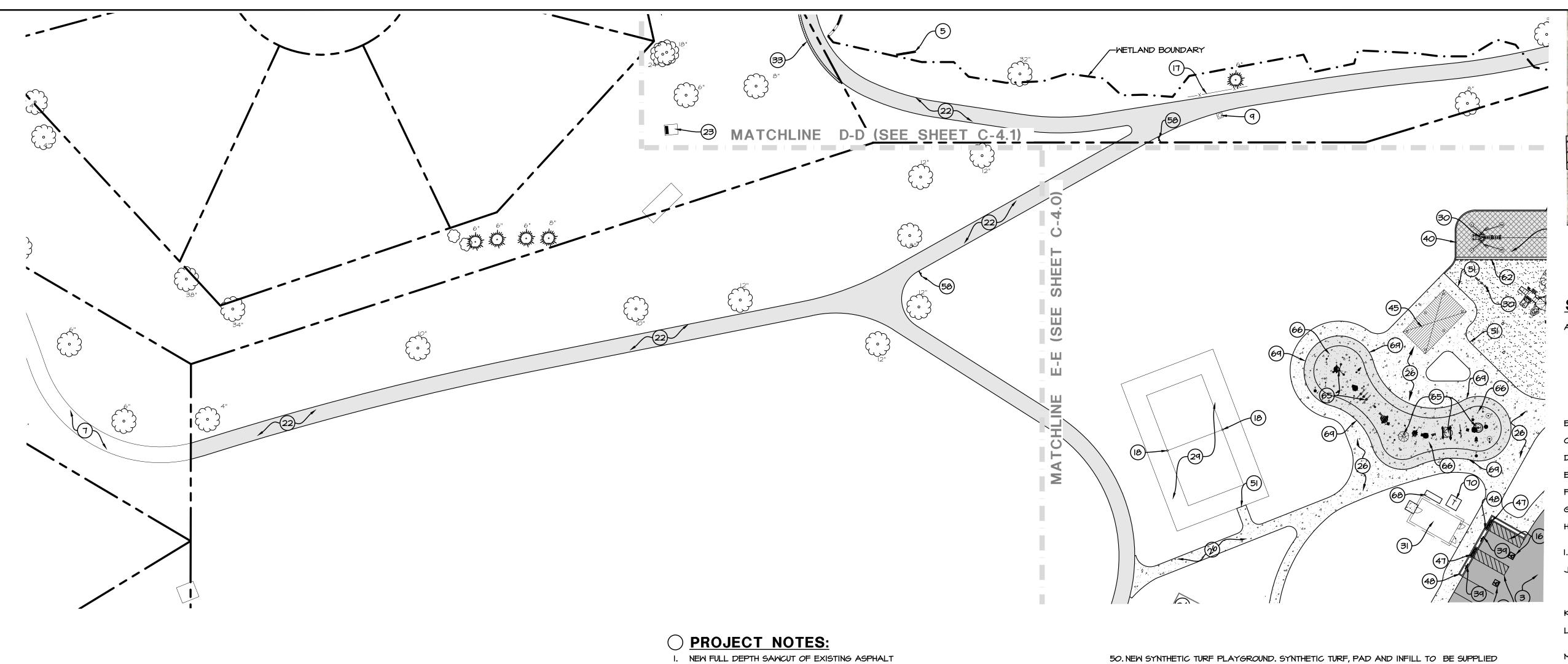
I" = 30' *00* 15 *30* 60



SITE DEVELOPMENT PLAN



SITE DEVELOPMENT PLAN



- PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- 2. NEW 2' BUTT JOINT.
- NEW ASPHALT PAVEMENT. 4. SEALCOAT EXISTING ASPHALT PAVEMENT.
- EXISTING BLOCK WALL TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO REMAIN. EXISTING ASPHALT PAVEMENT TO REMAIN.
- 8. EXISTING BRIDGE TO REMAIN.
- 9. EXISTING TRASH CAN ON CONCRETE PAD TO REMAIN. IO. EXISTING BUILDING TO REMAIN.
- INSTALL SALVAGED I.D. SIGN. 12. EXISTING PLAYGROUND TO REMAIN.
- 13. EXISTING SIGN TO REMAIN. 14. EXISTING STREET LIGHT TO REMAIN.
- 15. EXISTING WHEEL STOP TO REMAIN. 16. NEW ACCESSIBLE PARKING STRIPING AND SYMBOL.
- 17. EXISTING FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 18. NEW YOLLEYBALL COURT POST AND NET. 19. EXISTING CURB AND GUTTER TO REMAIN.
- 20. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN. 21. EXISTING TENNIS COURT POST AND NET TO REMAIN.
- 22. NEW ASPHALT TRAIL.
- 23. EXISTING BENCH ON CONCRETE PAD TO REMAIN.
- 24. NEW PICKLE BALL EXISTING STRIPING TO REMAIN. 25. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE/CURB TO PROVIDE CLEAN
- CONSTRUCTION BREAK.
- 26. NEW 5" CONCRETE SIDEWALK. 27. NEW 6" CONCRETE PAVEMENT.
- 28. NEW PAVEMENT STRIPING.
- 29. NEW SAND YOLLEYBALL COURT.
- 30. NEW PLAYGROUND EQUIPMENT TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. CONTACT PLAYGROUND MANUFACTURER FOR PLANS AND INSTALLATION INSTRUCTIONS, PREPARED BY GAMETIME (1-800-235-2440). PLAYGROUND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- 31. NEW BATHROOM FACILITY. CONTRACTOR SHALL INSTALL FOUNDATIONS AND STUB PROPOSED UTILITIES INSIDE BUILDING. BUILDING FRAME AND INTERIOR FIXTURES TO BE BUILT BY OWNER. (SEE ARCHITECTURAL AND MEP PLANS FOR DETAILS).
- 32. EXISTING PAVEMENT STRIPING TO REMAIN. 33. NEW RETAINING WALL.
- 34. EXISTING GENERATOR TO REMAIN.
- 35. EXISTING ELECTRIC METER TO REMAIN. 36. EXISTING TRANSFORMER TO REMAIN.
- 37. NEW DEPRESSED CURB AND GUTTER. 38. NEW B6.12 CURB AND GUTTER WITH REVERSE GUTTER PITCH.
- 39. NEW ADA PARKING SIGN.
- 40. NEW PLAYGROUND CURB. 41. NEW B6.12 CURB AND GUTTER.
- 42. NEW ROADWAY PAVEMENT TO MATCH EXISTING CROSS SECTION.
- 43. NEW 6" BARRIER CURB. 44. EXISTING TENNIS COURT PAVEMENT TO REMAIN.
- 45. NEW 16' X 30' HIP END STRUCTURE PROVIDED BY OWNER AND INSTALLED BY THE PARK DISTRICT OWNER. SEE SHELTER DRAWINGS FOR DETAILS
- 46. NEW MONOLITHIC CURB AND 5" CONCRETE SIDEWALK.
- 47. NEW 2' WIDE ADA DETECTABLE WARNING PLATE.
- 48. NEW PLANTER BOX. (SEE DETAIL ON SHEET C-4.5). 49. NEW ACCESSIBLE CURB RAMP WITH 2' WIDE ADA DETECTABLE WARNING PLATE TO EXTEND THE FULL WIDTH OF THE CURB RAMP.

- BY PARK DISTRICT OWNER AND INSTALLED BY CONTRACTOR 51. NEW MONOLITHIC PLAYGROUND CURB AND 5" CONCRETE SIDEWALK.
- 52. NEW DOCK. (BY OWNER) 53. EXISTING DOCK TO REMAIN.
- 54. EXISTING CONCRETE WALL TO REMAIN.
- 55. EXISTING OUTLET CONTROL STRUCTURE AND OVERFLOW WEIR TO REMAIN.
- 56. INSTALL SALVAGED WHEEL STOP. 57. INSTALL SALVAGED ADA PARKING SIGN ON NEW POST.
- 58. NEW "PATH NOT ADA COMPLIANT" SIGN. (BY OWNER)
- 59. NEW 1.75" MILL AND ASPHALT OVERLAY. SEE DETAIL. 60. NEW 2' DETECTABLE WARNING STRIP.
- 61. NEW R7-100 "NO PARKING" SIGN.
- 62. NEW PLAYGROUND TRANSITION CURB.
- 63. NEW WOOD MULCH PLAYGROUND AREA. THE MULCH WILL BE INSTALLED AND PROVIDED BY THE PARK DISTRICT.
- 64. NEW FITNESS EQUIPMENT TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. SEE FITNESS COURSE PLANS, PREPARED BY BCI BURKE COMPANY, FOR EQUIPMENT LAYOUT AND INSTALLATION SPECIFICATIONS. ALL EQUIPMENT SHALL BE
- INSTALLED PER MANUFACTURERS SPECIFICATIONS. 65. NEW SPLASH PAD EQUIPMENT TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR, SEE SPLASH PAD PLANS, PREPARED BY VORTEX AQUATIC STRUCTURES INTERNATIONAL, FOR EQUIPMENT LAYOUT AND INSTALLATION SPECIFICATIONS. SEE MEP
- PLANS FOR WATER AND SEWER PIPING WITHIN THE BUILDING AND PAD (SEE DETAIL). 66. NEW CONCRETE SPLASH PAD. PROVIDE EXPANSION JOINTS BETWEEN WALKS. CONTRACTOR SHALL PROVIDE EXPANSION JOINT LAYOUT FOR ENGINEER REVIEW.
- 67. NEW SYNTHETIC TURF FITNESS AREA. PERFECT TURF MAT, PAD, AND RUBBER INFILL TO BE PROVIDED BY OWNER AND INSTALLED BY THE CONTRACTOR, 68. NEW WINTERIZING PIT FOR WINTER SHUT DOWN. WALLS OF THE PIT SHALL BE 5" THICK
- CONCRETE. PROVIDE WATER TIGHT ACCESS GATE. BOTTOM OF THE PIT SHALL BE SET TO PROVIDE SUFFICIENT SLOPE FOR PIPING. 69. EXPANSION JOINT WITH WATER STOP.
- 70. NEW TRANSFORMER. (SEE MEP PLANS FOR DETAILS)



SITE DEVELOPMENT NOTES:

SCALE: N.T.S.

NORTH

- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE PLAT OF SURVEY LAST DATED 6-16-2009 PREPARED BY ENGINEERING RESOURCE ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY
- A.A. ADDITIONAL EXISTING TOPOGRAPHY AND UTILITY DATA SHOWN REPRESENTS SITE CONDITIONS MEASURED BY WIT LAND SURVEYING INC. ON 7-24-19.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL
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RESPONSIBILITY OF THE CONTRACTOR.

- IMPROVEMENTS WITH LANDSCAPE PLANS. E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE
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- OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1095.02 OF THE IDOT
- STANDARD SPECIFICATIONS. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO
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- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO
- LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS. M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM
- DAMAGE FOR THE DURATION OF CONSTRUCTION. N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

HATCH LEGEND

- NEW ASPHALT TRAIL 2" HMA SURFACE COURSE 8" CA-6 BASE COURSE
- NEW ROADWAY PAVEMENT TO MATCH EXISTING CROSS SECTION
- NEW 5" CONCRETE SIDEWALK 5" PORTLAND CEMENT CONCRETE 4" CA-6 BASE COURSE NEW 6" CONCRETE PAYEMENT
- 6" PORTLAND CEMENT CONCRETE 4" CA-6 BASE COURSE
 - NEW SYNTHETIC TURF PLAYGROUND NEW ASPHALT PAYEMENT
 - 2-1/4" HMA BINDER COURSE IO" CA-6 BASE COURSE NEW I-3/4" ASPHALT MILL & OVERLAY

1-3/4" HMA SURFACE COURSE

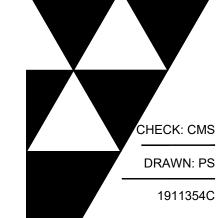
- SEE DETAIL NEW ENGINEERED WOOD FIBER
- NEW SYNTHETIC TURF FITNESS AREA



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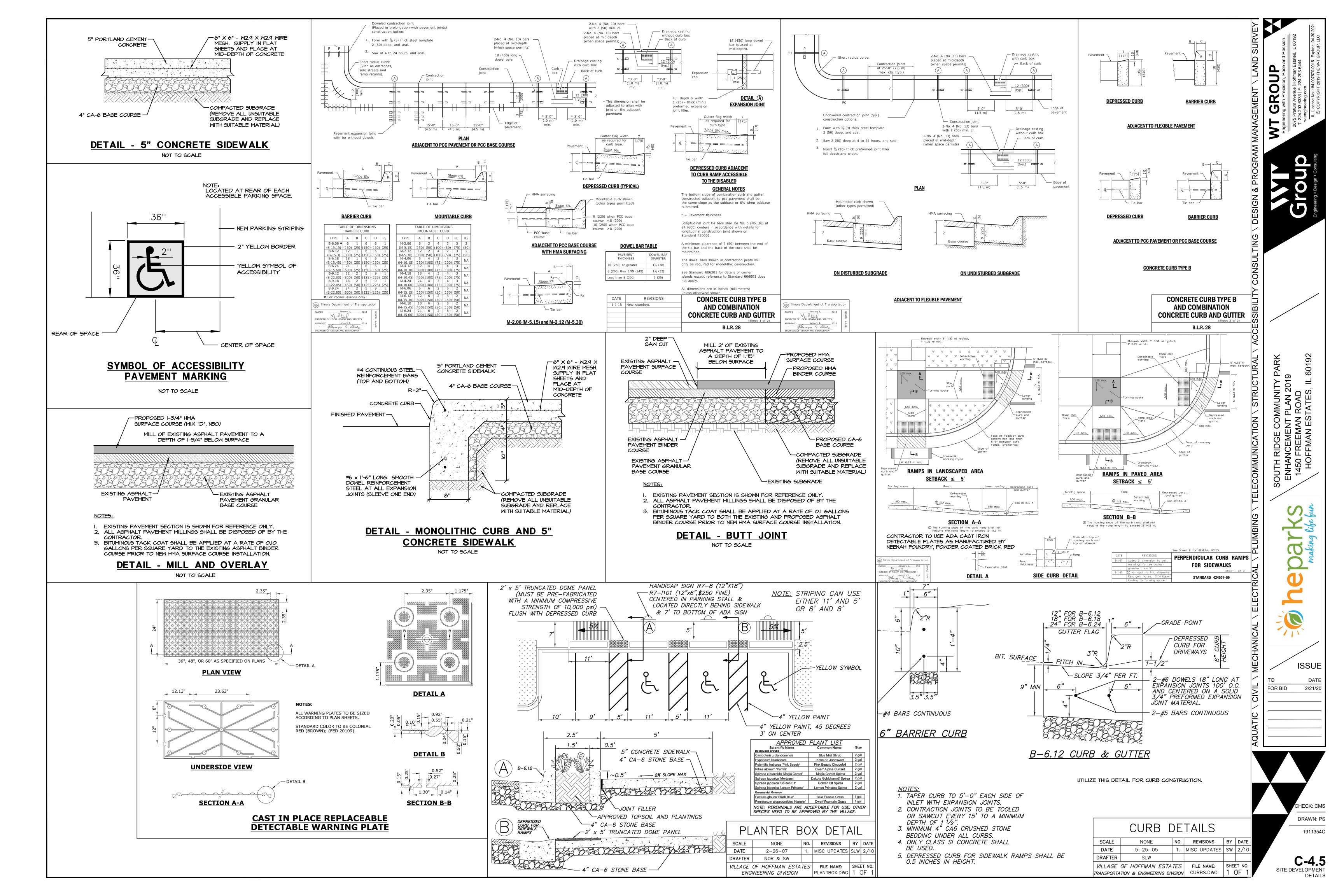
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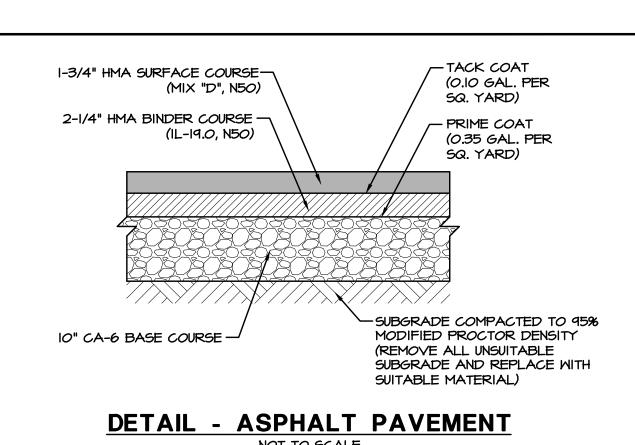
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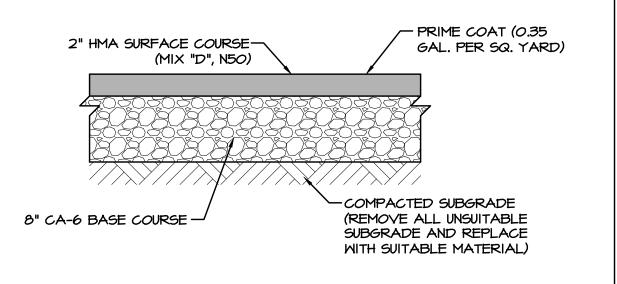
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SITE DEVELOPMENT PLAN





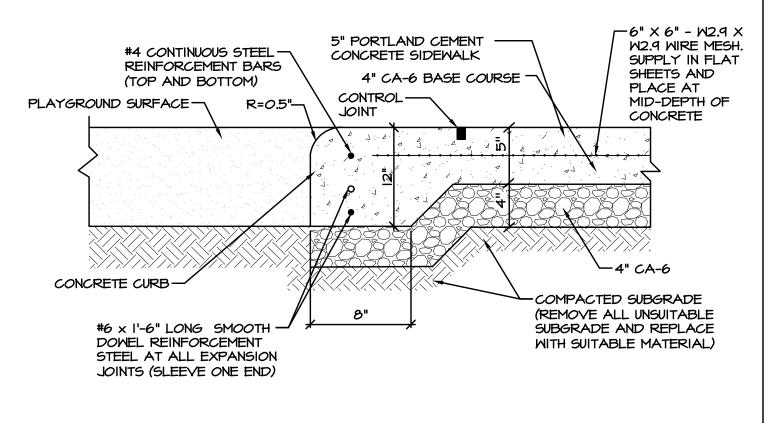
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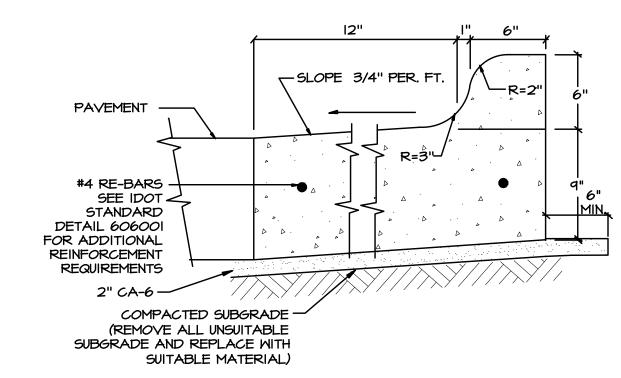
DETAIL - ASPHALT TRAIL NOT TO SCALE

 $-6" \times 6"$ - W2.9 \times W2.9 WIRE 6" PORTLAND CEMENT -MESH. SUPPLY IN FLAT CONCRETE SHEETS AND PLACE AT MID-DEPTH OF CONCRETE COMPACTED SUBGRADE (REMOVE ALL UNSUITABLE 4" CA-6 BASE COURSE -SUBGRADE AND REPLACE WITH SUITABLE MATERIAL)

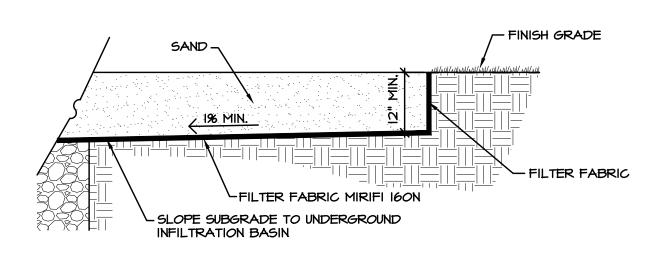
DETAIL - 6" CONCRETE SIDEWALK NOT TO SCALE



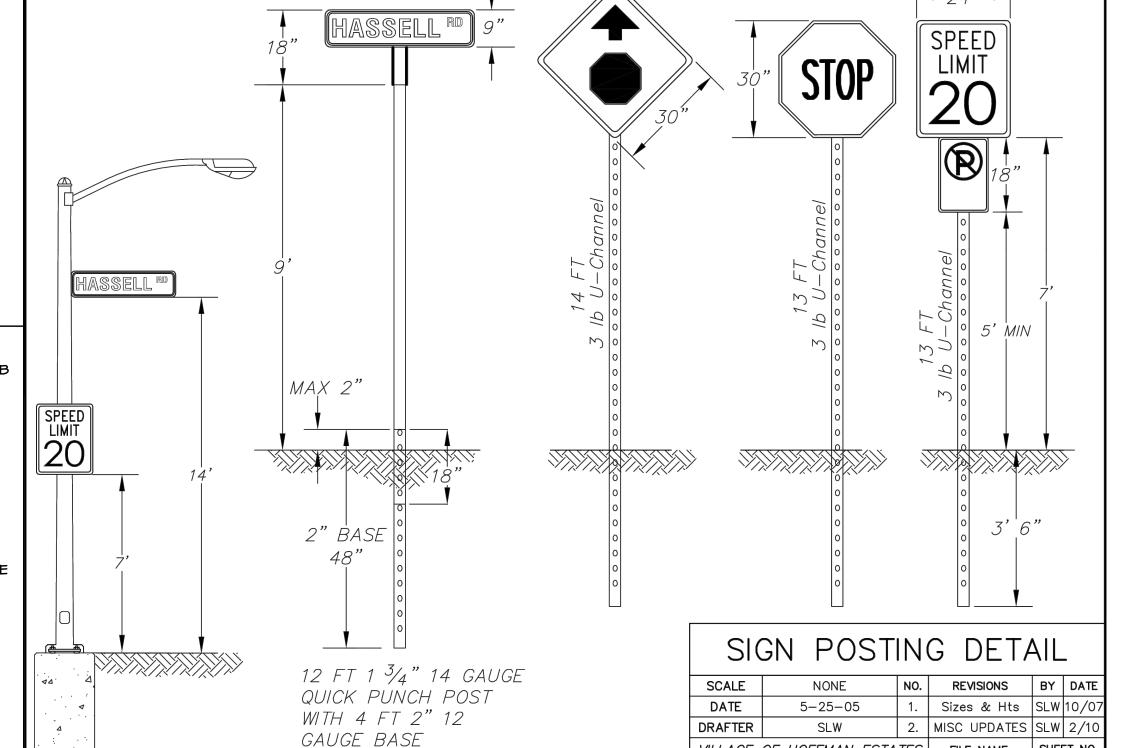
DETAIL - MONOLITHIC PLAYGROUND CURB AND 5" CONCRETE SIDEWALK NOT TO SCALE

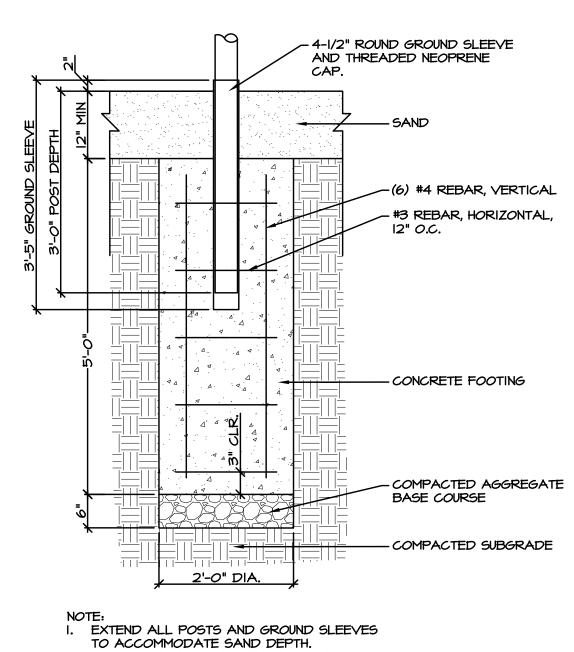


DETAIL-B6-12 CURB & GUTTER (REVERSE GUTTER PITCH) NOT TO SCALE

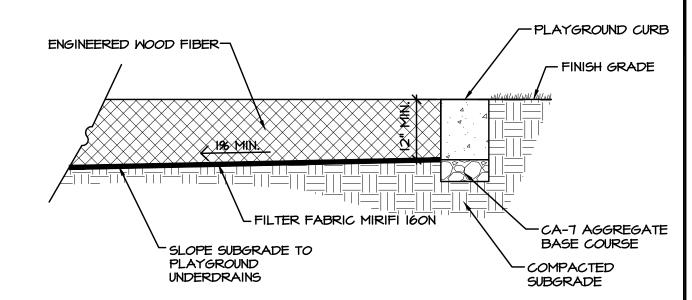




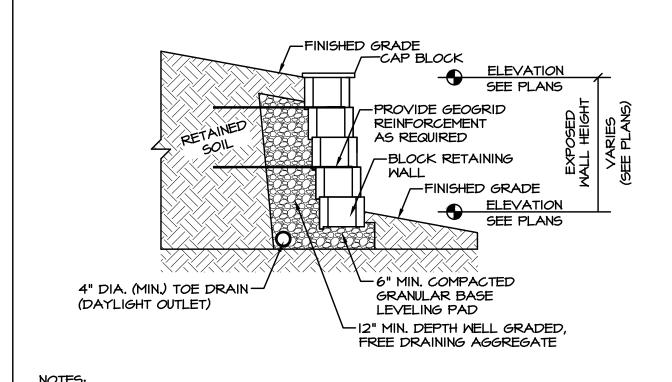








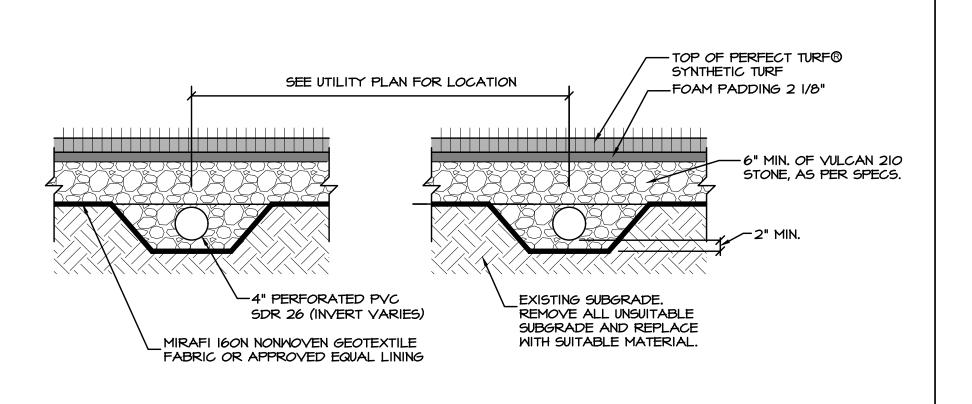
DETAIL - ENGINEERED WOOD FIBER SECTION NOT TO SCALE



- DETAIL PROVIDED FOR CROSS SECTION PURPOSES ONLY.
- REFER TO PLANS FOR RETAINING WALL LOCATIONS AND ELEVATIONS. 3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL INSTALL RETAINING WALL IN ACCORDANCE WITH APPROVED MANUFACTURER'S GUIDELINES AND SPECIFICATIONS. 5. RETAINING ALL SHALL BE AULTWALL BY READING ROCK OVERSIZED BEVELED FACE RETAINING WALL. CONTRACTOR SHALL PROVIDE RETAINING WALL MATERIAL SAMPLES TO THE OWNER, ARCHITECT AND/OR ENGINEER FOR APPROVAL AND COLOR SELECTION PRIOR TO CONSTRUCTION.

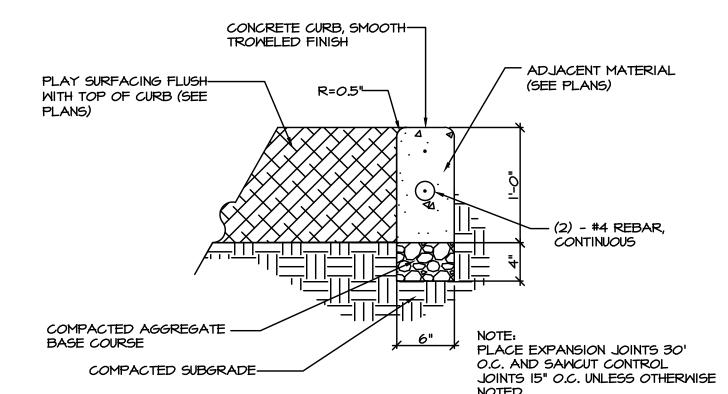
DETAIL - RETAINING WALL

NOT TO SCALE



DETAIL - UNDERDRAIN BELOW SYNTHETIC TURF PLAYGROUND AND FITNESS AREA

NOT TO SCALE



2. TOP PORTION OF THE SLEEVE TO BE PANTED YELLOW.

FILE NAME: SHEET NO.

SIGNSPEC.DWG 1 OF

VILLAGE OF HOFFMAN ESTATES

ENGINEERING DIVISION

PLAYGROUND CURB NOT TO SCALE

FOR BID 2/21/20

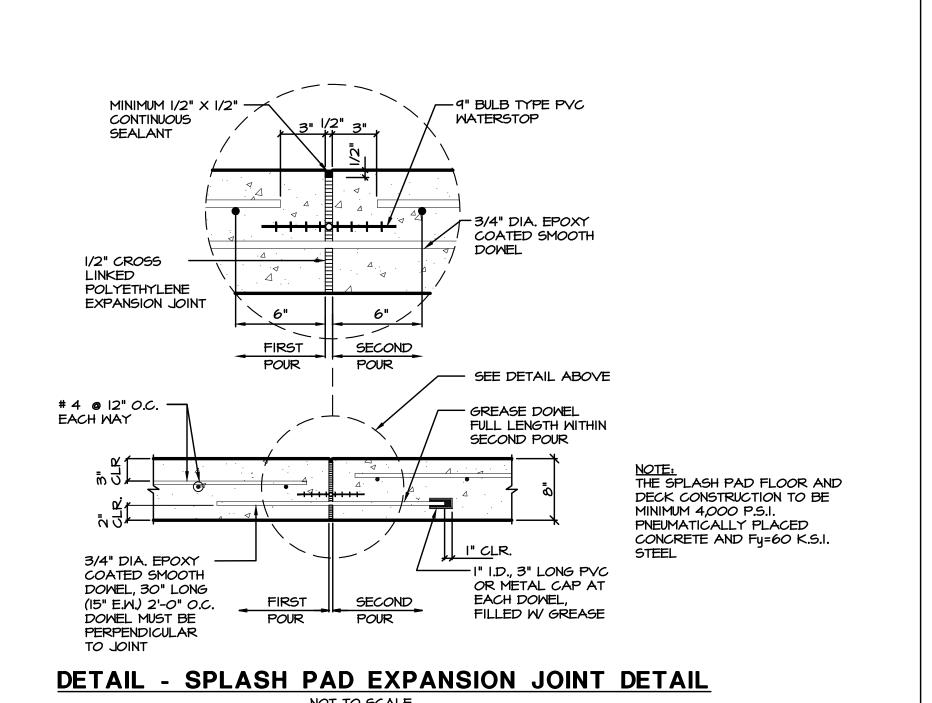
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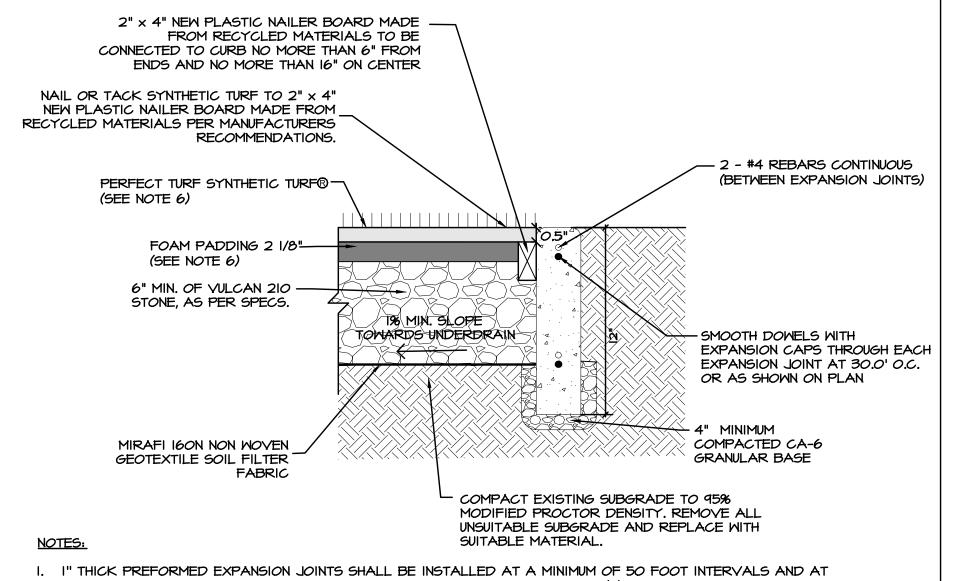
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C-4.6 SITE DEVELOPMENT DETAILS

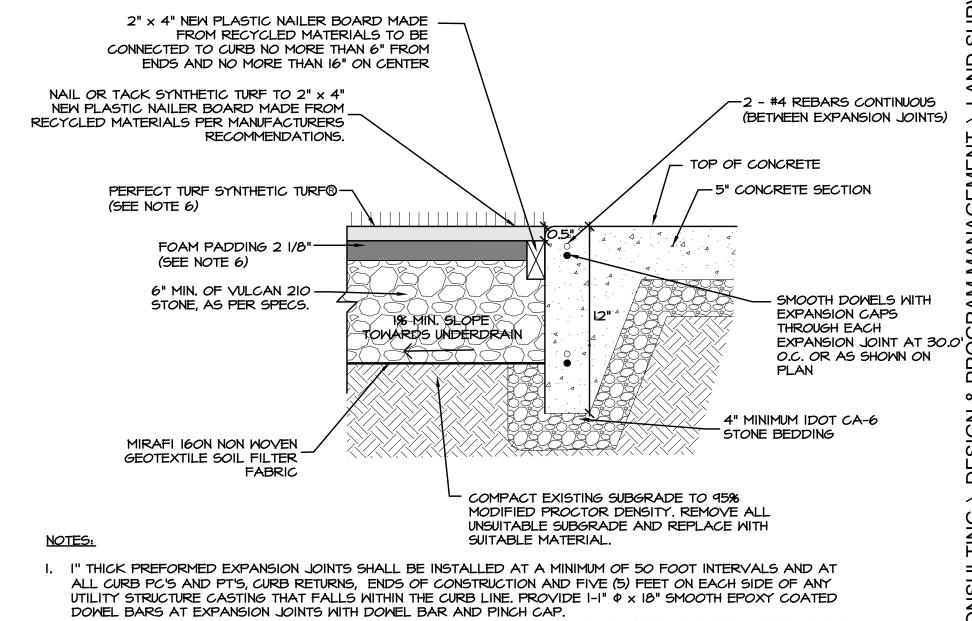




- ALL CURB PC'S AND PT'S, CURB RETURNS. ENDS OF CONSTRUCTION AND FIVE (5) FEET ON EACH SIDE OF ANY UTILITY STRUCTURE CASTING THAT FALLS WITHIN THE CURB LINE. PROVIDE I-I" \$\phi \times 18" SMOOTH EPOXY COATED DOWEL BARS AT EXPANSION JOINTS WITH DOWEL BAR AND PINCH CAP.
- 2. EXPANSION JOINTS SHALL BE INSTALLED ON ALL RADIUS POINTS AND AT A DISTANCE OF 5 FEET ON EACH SIDE OF A UTILITY STRUCTURE CASTING THAT FALLS WITHIN THE CURB LINE. MAXIMUM SPACING = 50 FEET. 3. CONTROL JOINTS SHALL BE SAWED TO A MINIMUM DEPTH OF 2" AND PLACED AT IO FOOT INTERVALS. SAW CUTS
- SHALL BE SAMED NO SOONER THAN 6 HOURS AND NO LATER THAN 24 HOURS AFTER PLACEMENT OF CONCRETE. 4. 2 CONTINUOUS NO. 4 BARS SHALL BE INSTALLED AND CENTERED OVER ALL TRENCH CROSSINGS SO BARS
- EXTEND 5 FEET BEYOND THE TRENCH ON ALL SIDES. 5. DOWEL BARS AT EXPANSION JOINTS MUST BE DRILLED AND NOT PUSHED THRU EXPANSION MATERIAL. 6. SYNTHETIC TURF MAT, FOAM PADDING, AND RUBBER INFILL SHALL BE PROVIDED BY THE OWNER FOR THE

FITNESS AREA.

DETAIL - SYNTHETIC TURF ADJACENT TO PLAYGROUND CURB NOT TO SCALE

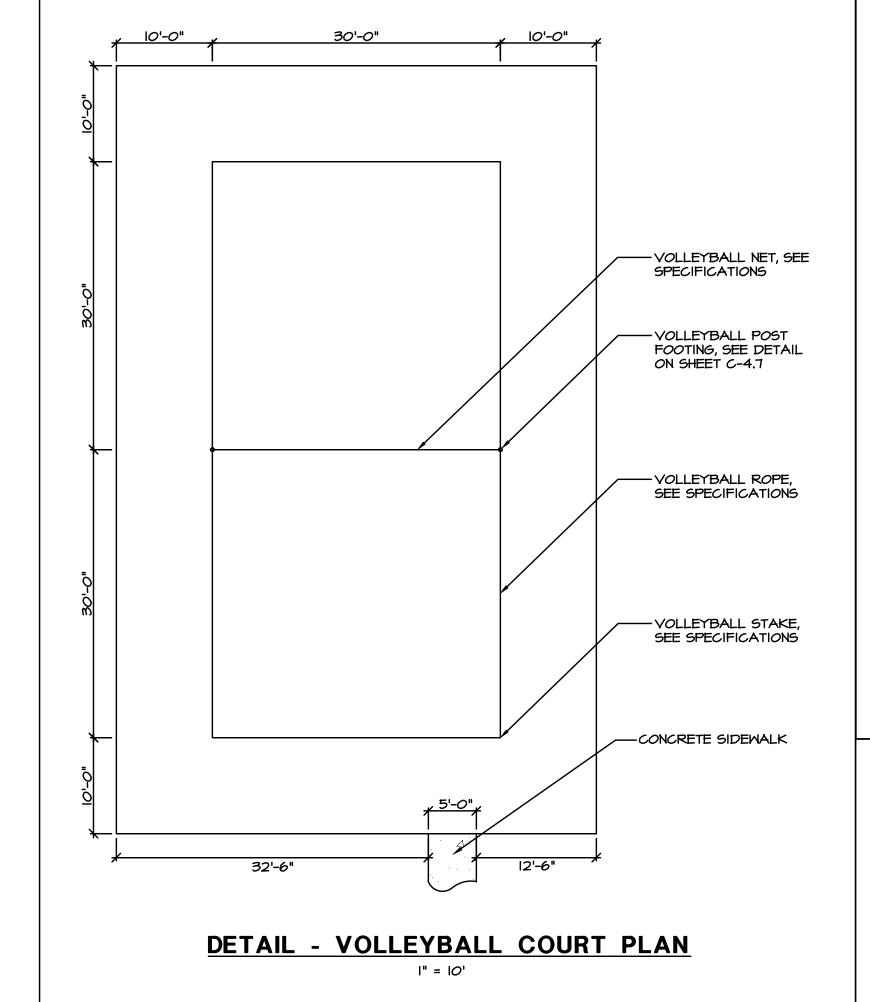


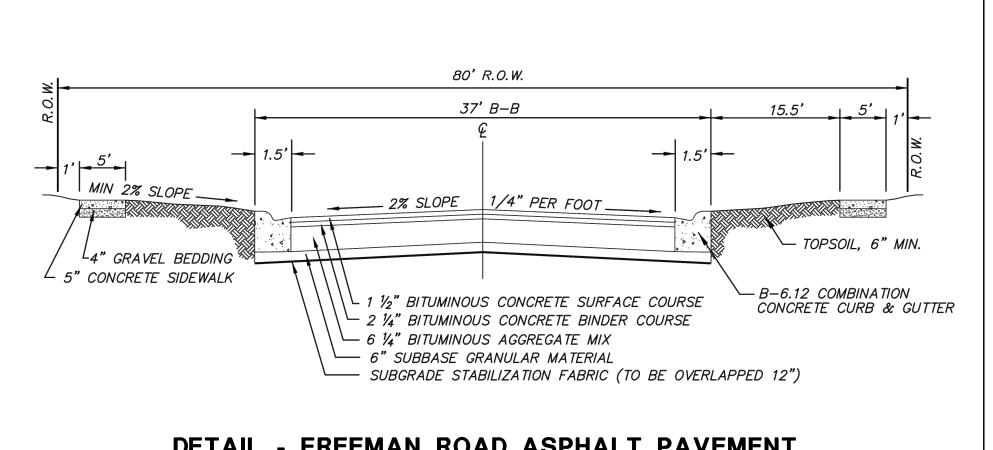
2. EXPANSION JOINTS SHALL BE INSTALLED ON ALL RADIUS POINTS AND AT A DISTANCE OF 5 FEET ON EACH SIDE

- OF A UTILITY STRUCTURE CASTING THAT FALLS WITHIN THE CURB LINE. MAXIMUM SPACING = 50 FEET. 3. CONTROL JOINTS SHALL BE SAWED TO A MINIMUM DEPTH OF 2" AND PLACED AT 10 FOOT INTERVALS. SAW CUTS SHALL BE SAMED NO SOONER THAN 6 HOURS AND NO LATER THAN 24 HOURS AFTER PLACEMENT OF CONCRETE.
- 4. 2 CONTINUOUS NO. 4 BARS SHALL BE INSTALLED AND CENTERED OVER ALL TRENCH CROSSINGS SO BARS EXTEND 5 FEET BEYOND THE TRENCH ON ALL SIDES. . DOWEL BARS AT EXPANSION JOINTS MUST BE DRILLED AND NOT PUSHED THRU EXPANSION MATERIAL. 6. SYNTHETIC TURF MAT, FOAM PADDING, AND RUBBER INFILL SHALL BE PROVIDED BY THE OWNER FOR THE

FITNESS AREA. **DETAIL - SYNTHETIC TURF ADJACENT** TO MONOLITHIC PLAYGROUND SIDEWALK

NOT TO SCALE

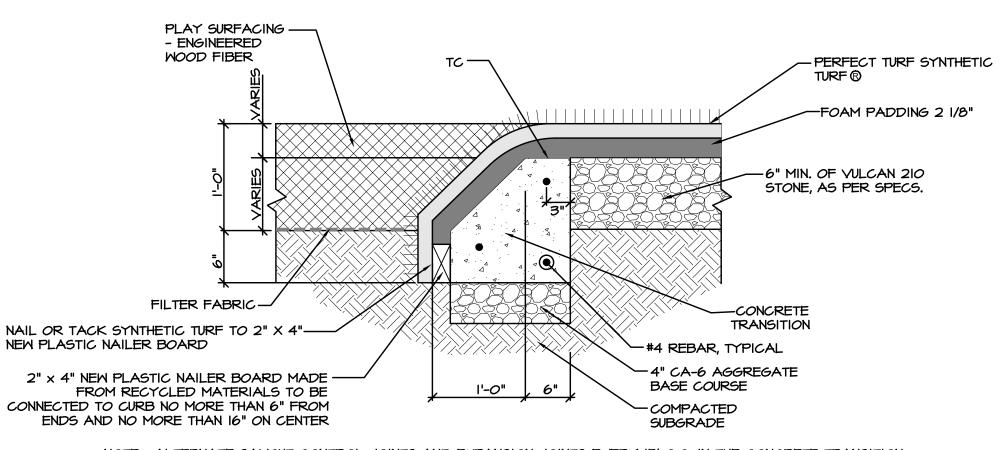




DETAIL - FREEMAN ROAD ASPHALT PAVEMENT

NOTE: PRIOR TO PLACEMENT OF STABILIZATION FABRIC, SUBGRADE IS TO BE PROOFROLLED WITH THE VILLAGE ENGINEER PRESENT. PAVEMENT MARKINGS TO BE 3M™ STAMARK™ TAPE CHECK WITH THE VILLAGE ENGINEER FOR CURREN MIX DESIGNS.

	CROSS SECTION FOR ≥ 80 FOOT ROW								
PES.	SCALE	NONE	NO.	REVISIONS	BY	DATE			
<i>IT</i>	DATE	5-25-05	1.	MISC UPDATES	SW	2/10			
	DRAFTER	SLW							
	VILLAGE TRANSPORTA	FILE NAME: ROAD80.DWG	SHEI	ET NO. OF 1					



NOTE: ALTERNATE SAWCUT CONTROL JOINTS AND EXPANSION JOINTS EVERY 15' O.C. IN THE CONCRETE TRANSITION

DETAIL - PLAYGROUND TRANSITION CURB

NOT TO SCALE

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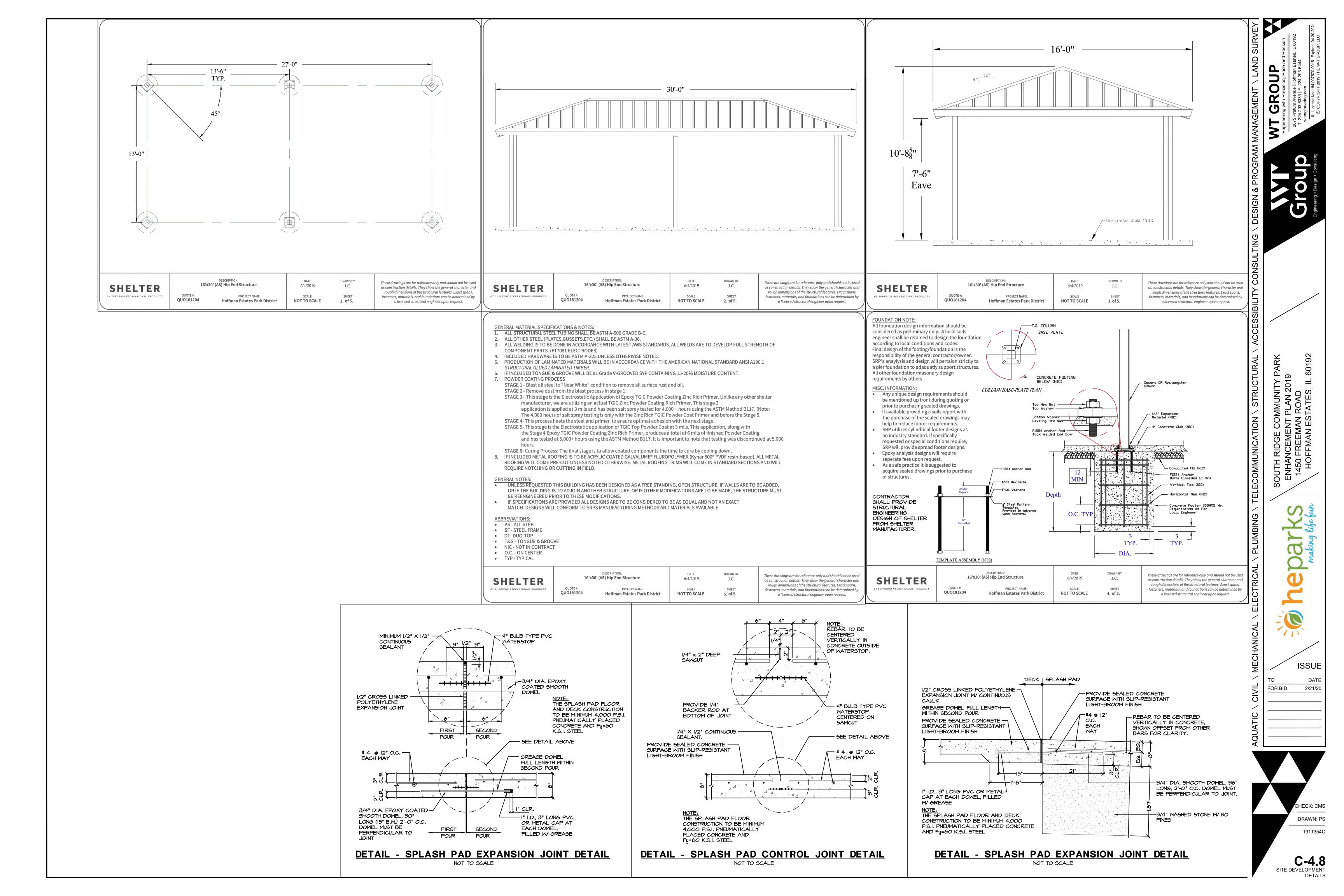
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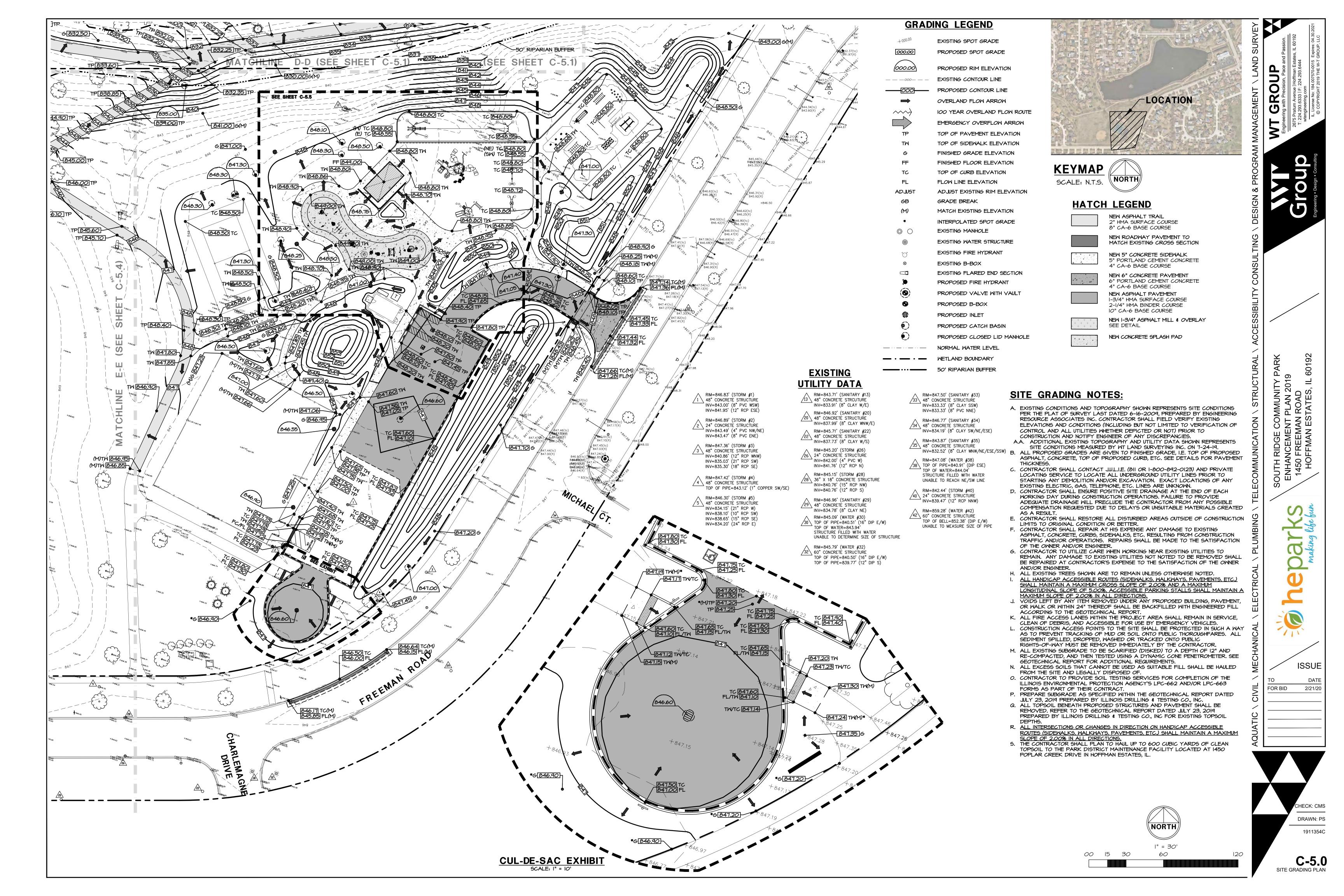
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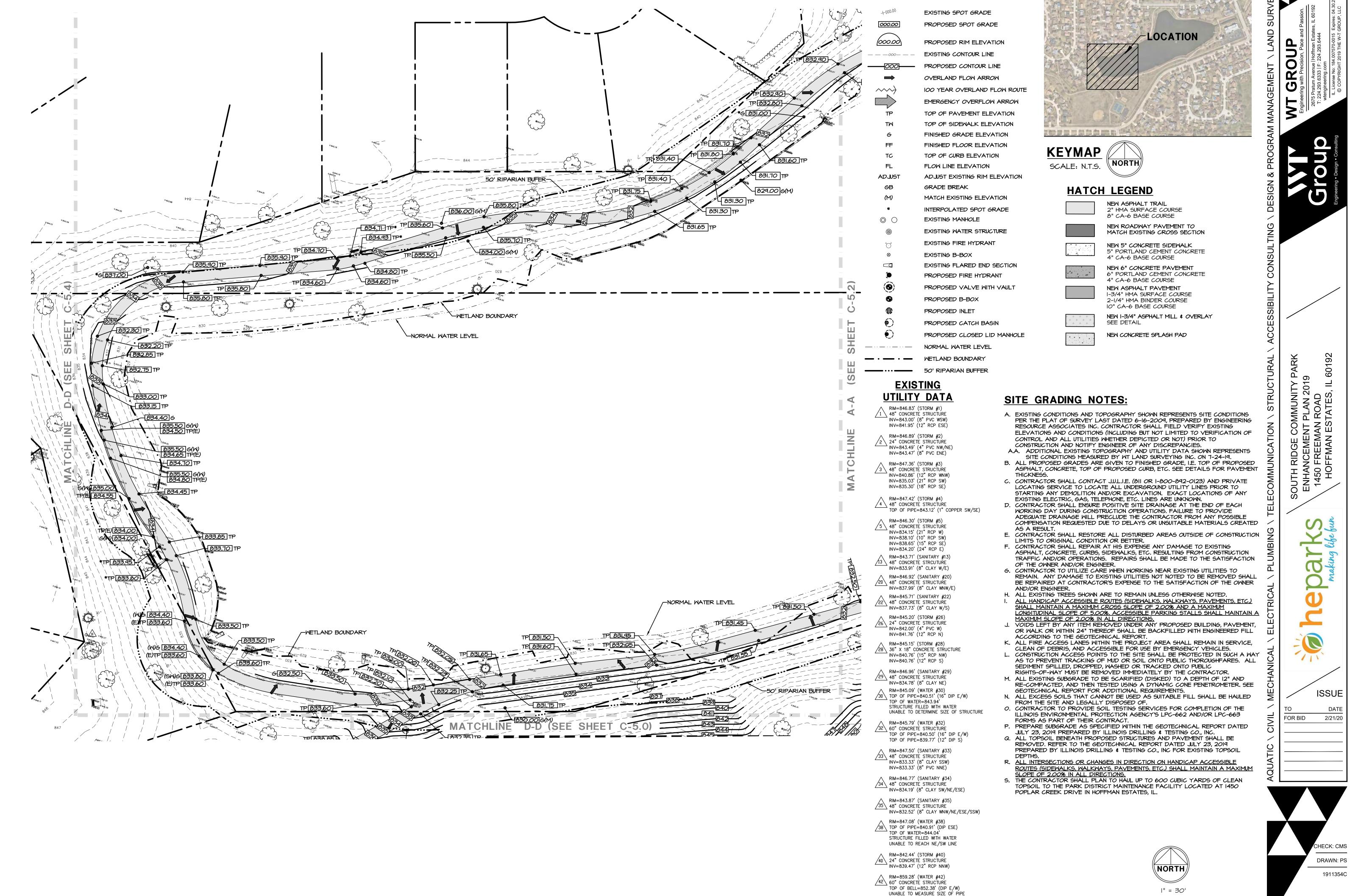
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> C-4.7 SITE DEVELOPMENT DETAILS







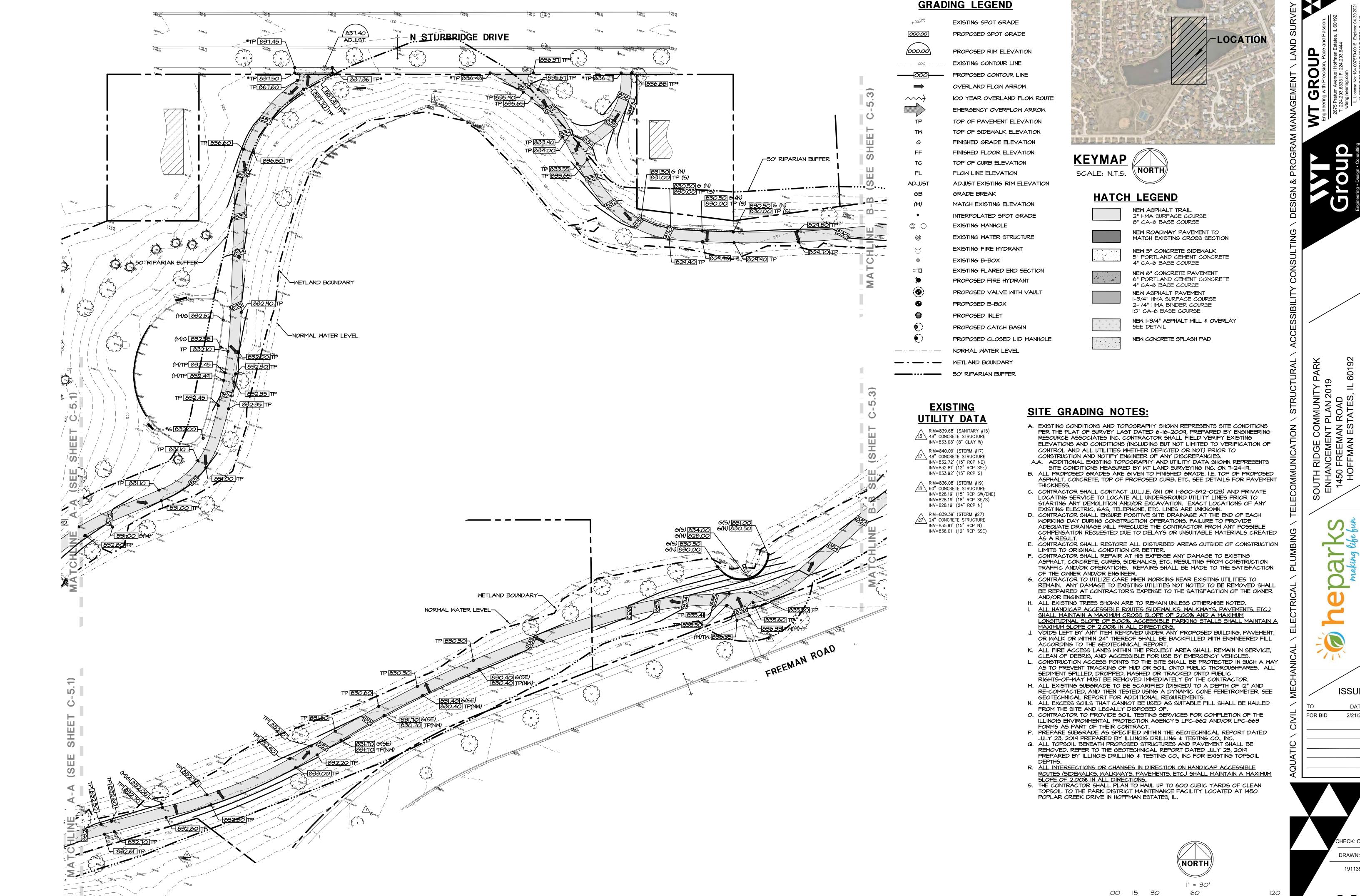
GRADING LEGEND

C-5.1 SITE GRADING PLAN

120

00 15 30

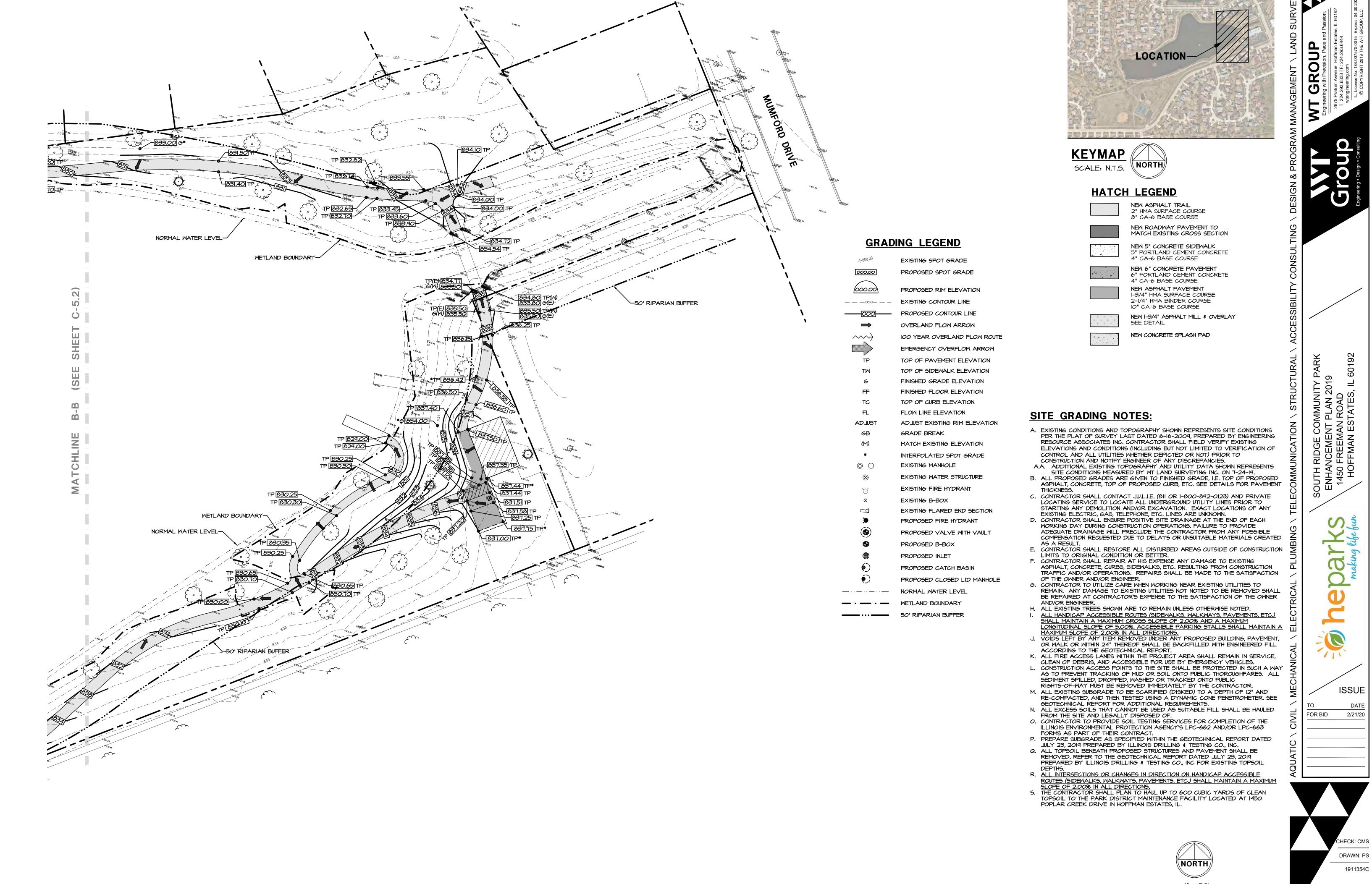
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2/21/20

DRAWN: PS 1911354C

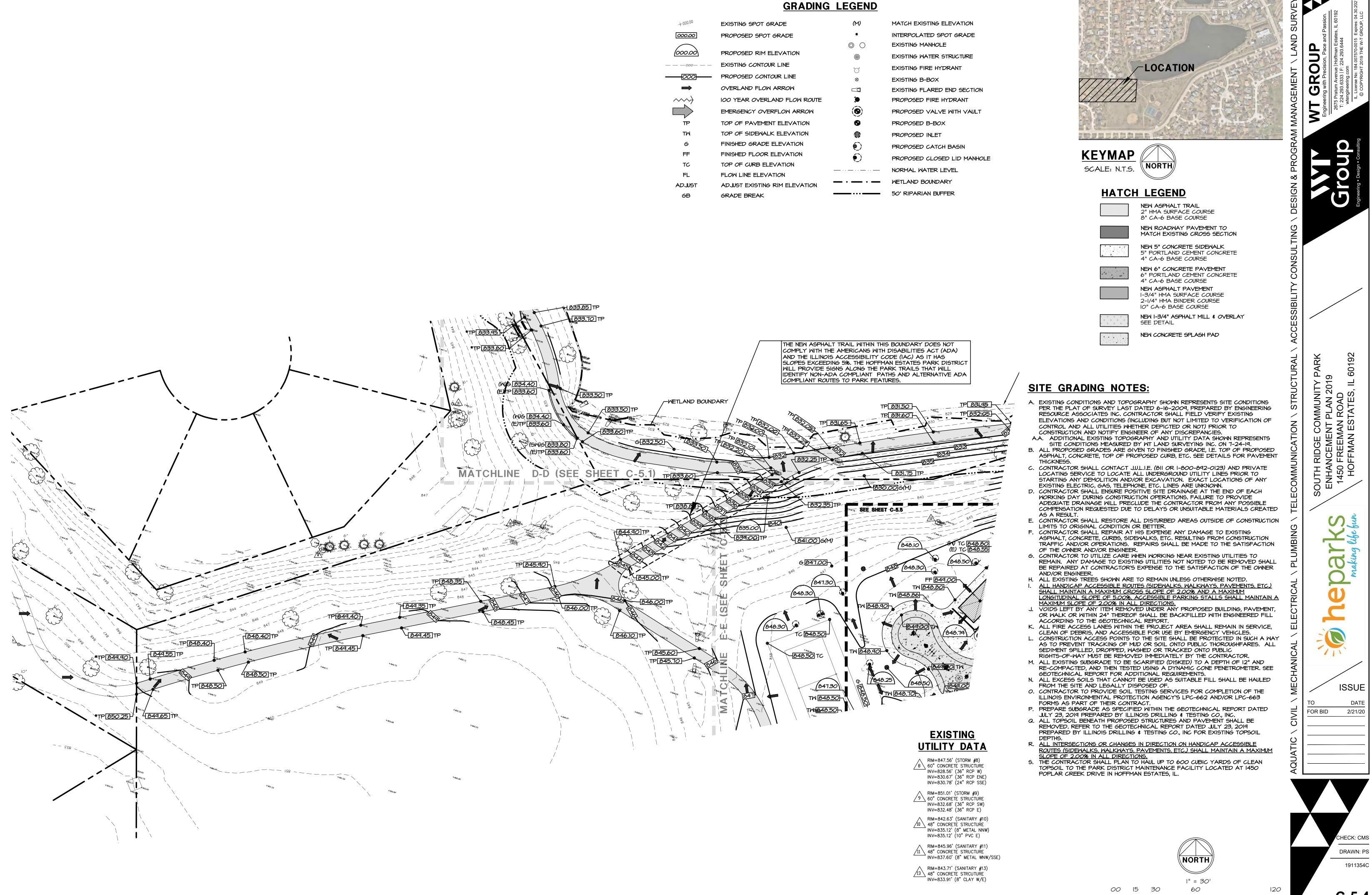
> C-5.2 SITE GRADING PLAN



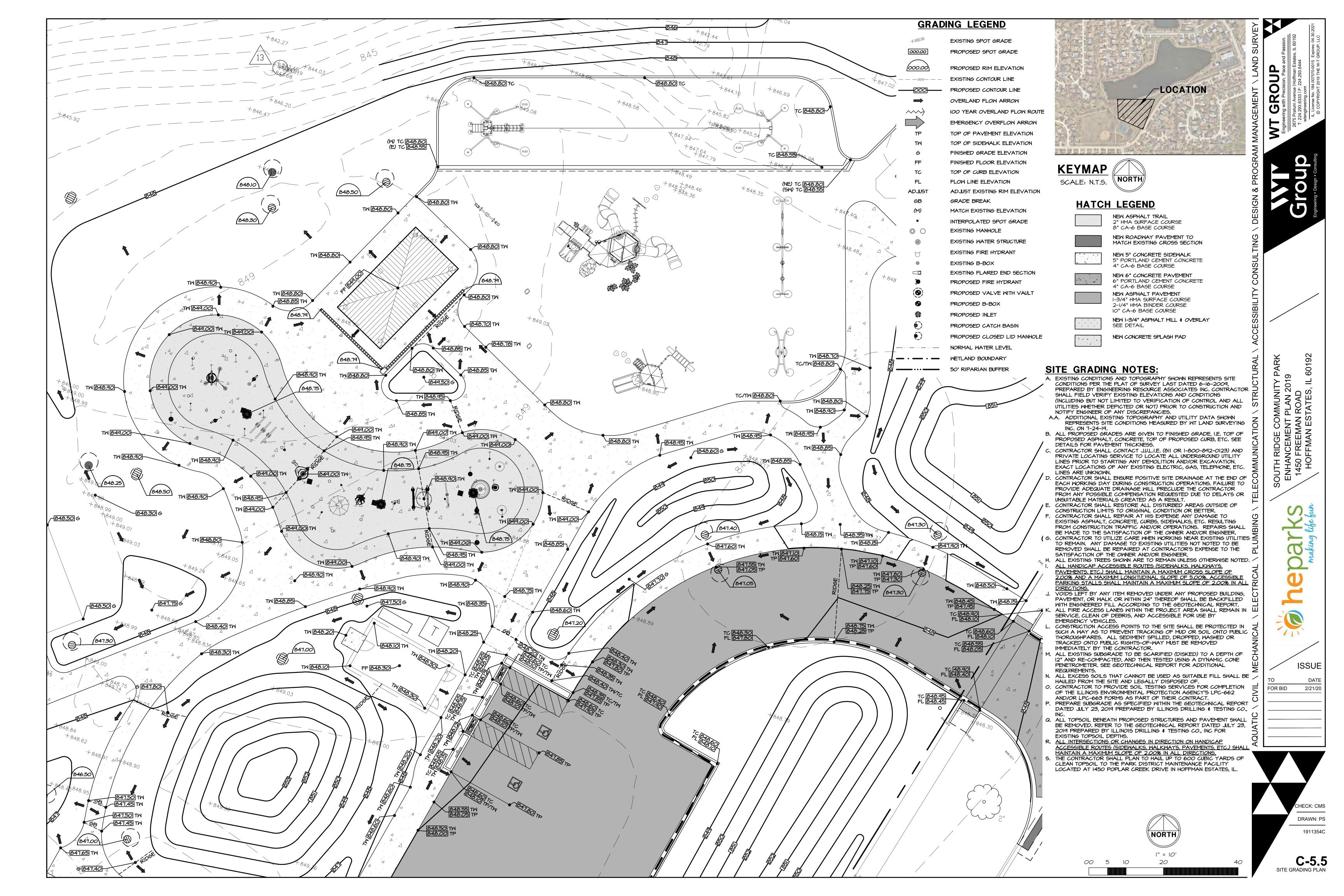
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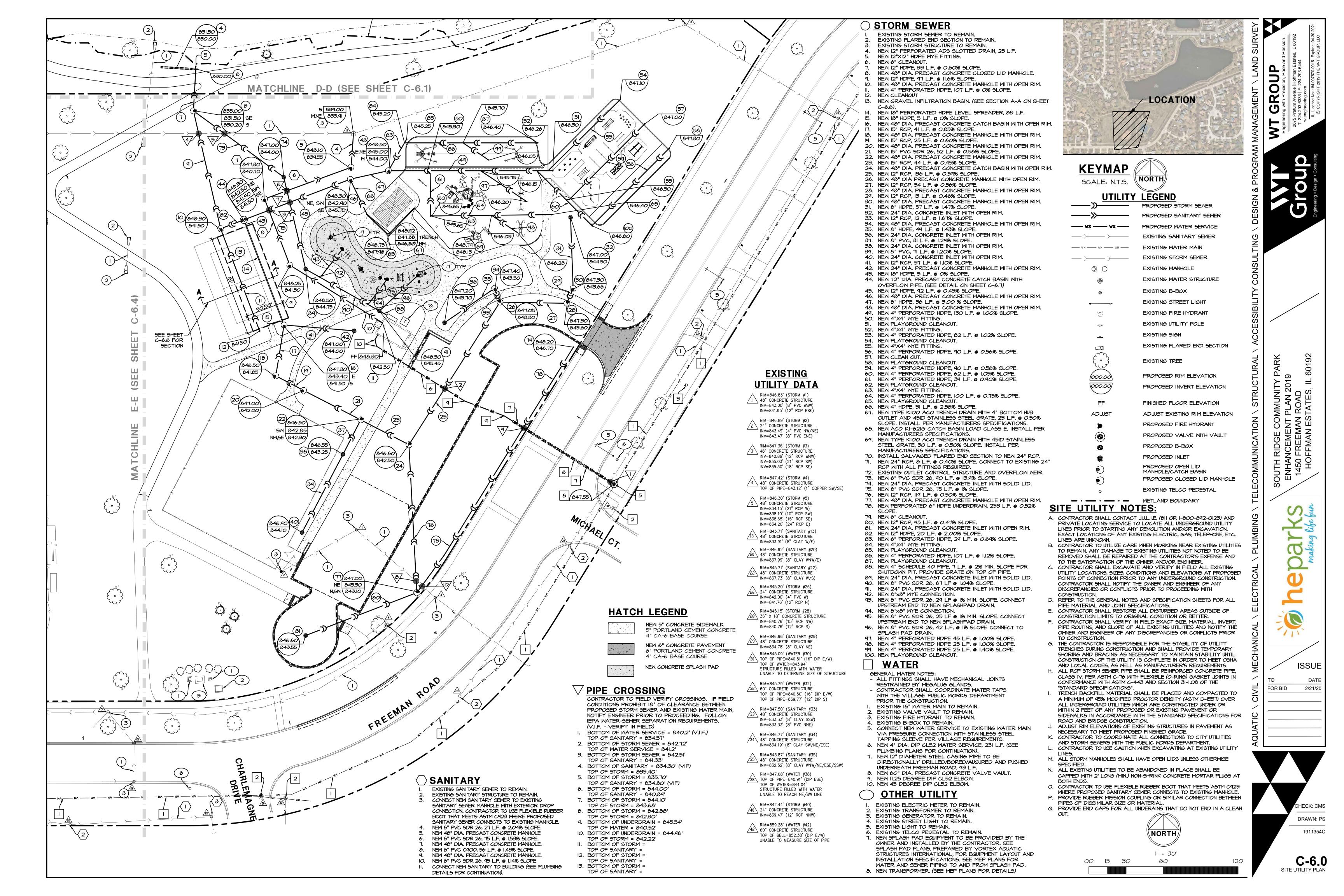
C-5.3 SITE GRADING PLAN

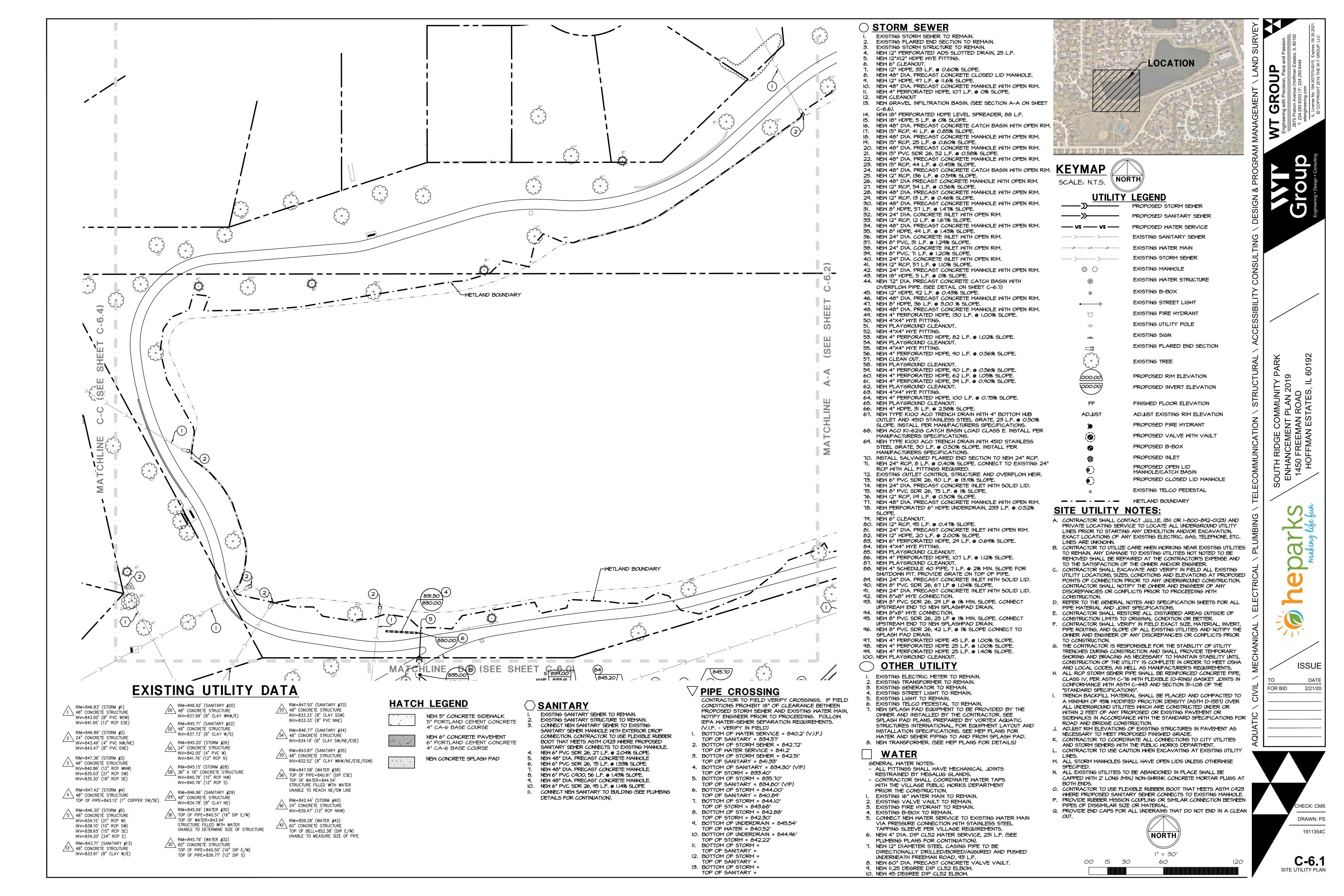
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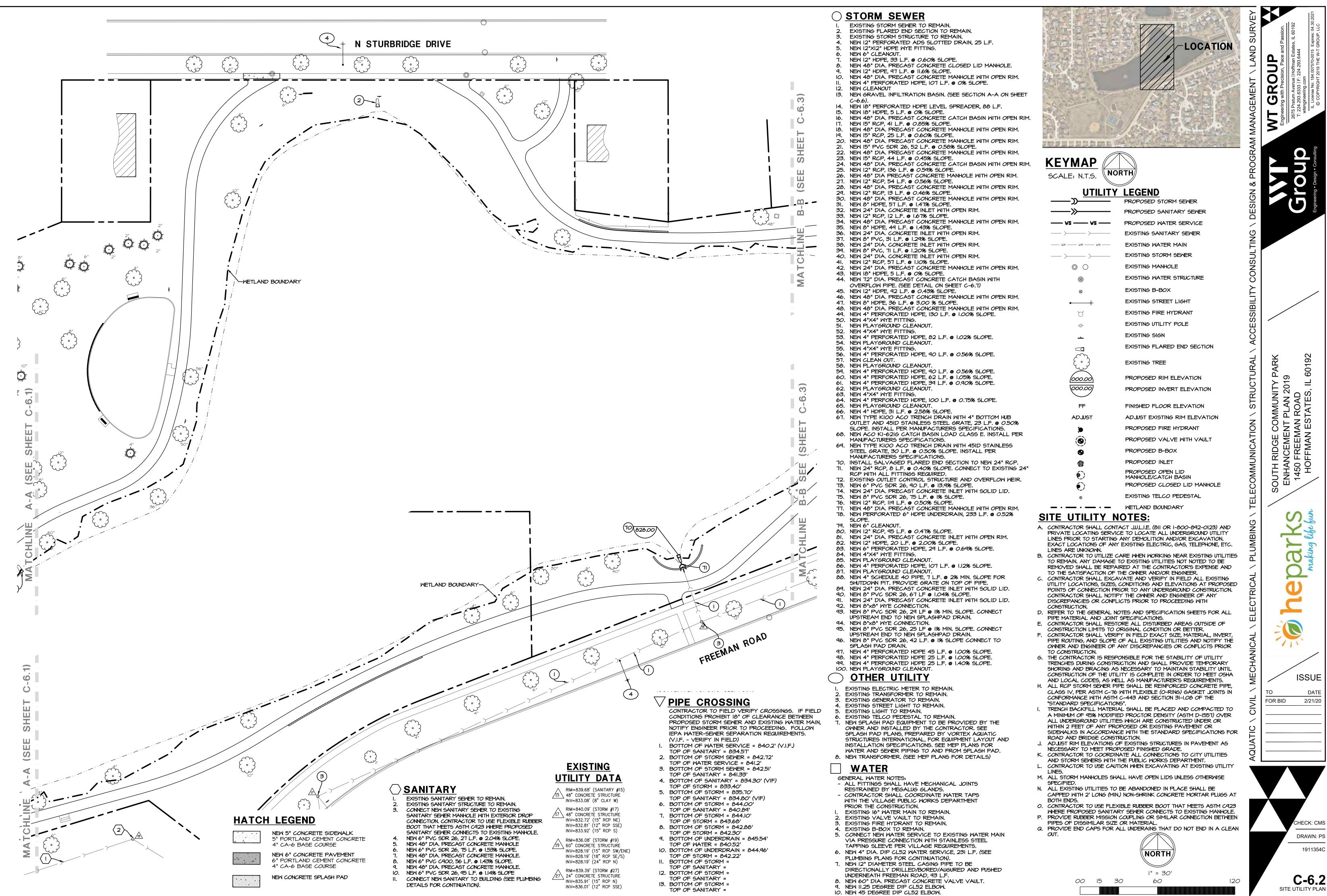


C-5.4 SITE GRADING PLAN

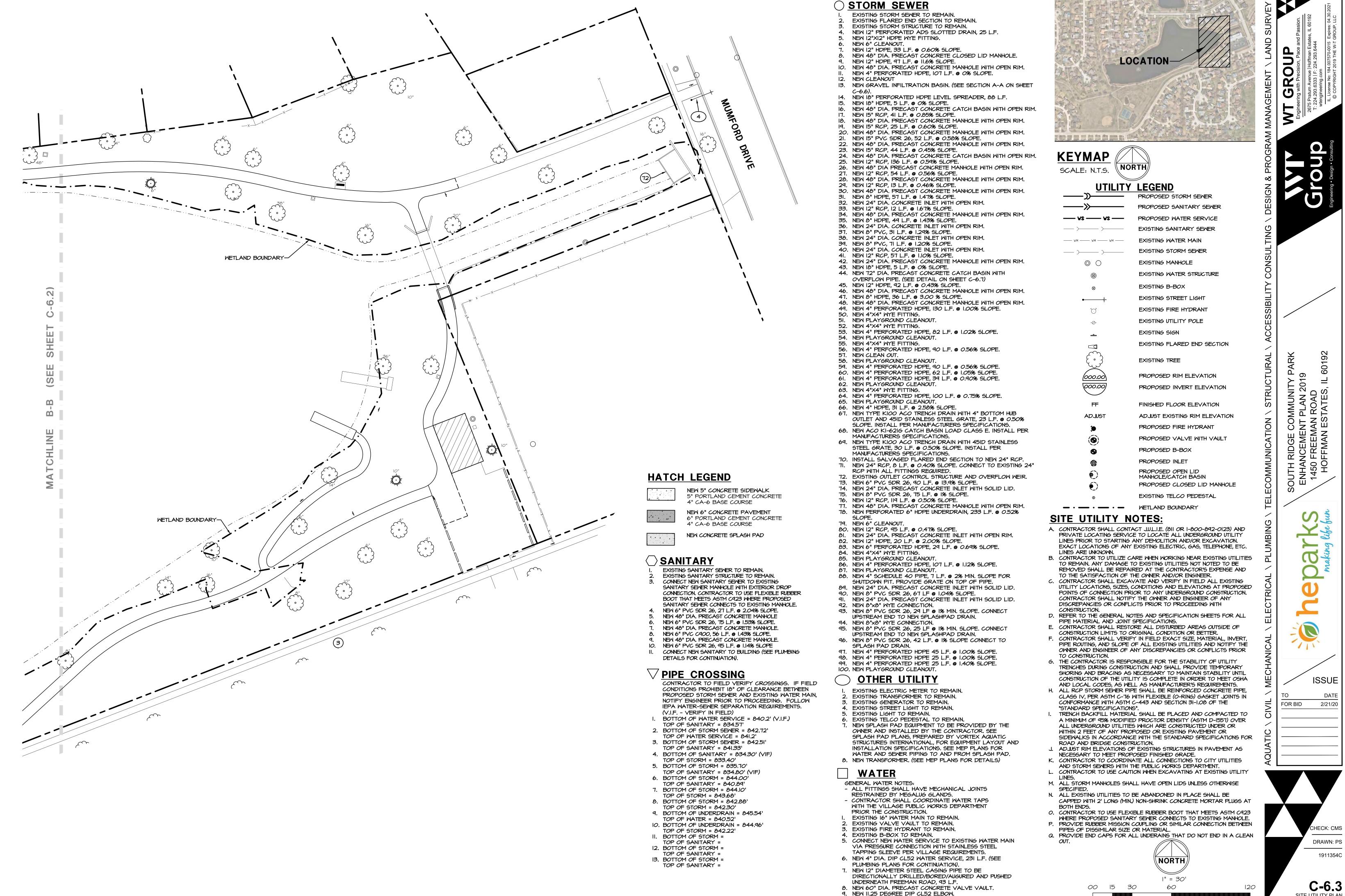








C-6.2



IO. NEW 45 DEGREE DIP CL52 ELBOW.

C-6.3 SITE UTILITY PLAN

